AGENDA PLANNING AND ZONING COMMISSION MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS MARCH 10, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

(I) CALL TO ORDER

(II)**OPEN FORUM**

(III)**APPOINTMENTS**

(1) Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

(2) Approval of Minutes for the February 25, 2020 Planning and Zoning Commission meeting.

(3) P2020-010 (KOREY BROOKS)

Discuss and consider a request by Rob Whittle for the approval of a Replat for Lot 24, Block E, Chandlers Landing, Phase 16 Addition being a 0.16-acre parcel of land identified as Lot 16, Block E, Chandlers Landing, Phase 16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 295 Victory Lane, and take any action necessary.

(4) P2020-011 (DAVID GONZALES)

Discuss and consider a request by Jim Ziegler of Pegasus Ablon for the approval of a Replat for Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition being a 6.119-acre parcel of land identified as Lot 9, Block A, Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of Lakefront Trail and the IH-30 frontage road, and take any action necessary.

(5) SP2019-049 (KOREY BROOKS)

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a Site Plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

(V) PUBLIC HEARING ITEMS

(6) Z2020-001 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

(7) Z2020-002 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

(8) Z2020-003 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.

(9) Z2020-004 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony, and take any action necessary.

(10) Z2020-005 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony, and take any action necessary.

(11) Z2020-006 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a <u>Specific Use Permit</u> (<u>SUP</u>) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and take any action necessary.

(12) Z2020-007 (RYAN MILLER)

Hold a public hearing to discuss and consider a request for the approval of a <u>*Text Amendment*</u> to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties, and take any action necessary.

(13) Z2020-008 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales and Service of Heavy Machinery and Equipment* in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

(VI) ACTION ITEMS

(14) SP2020-003 (KOREY BROOKS)

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an <u>Amending Site</u> <u>Plan</u> for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

(VII) DISCUSSION ITEMS

(15) *Director's Report* of post City Council meeting outcomes for development cases (RYAN MILLER).

- P2020-007: Final for Lots 1-4, Block A, Breezy Hill Lane Addition (APPROVED)
- P2020-008: Amending Plat the Gideon Grove North Subdivision (APPROVED)
- P2020-009: Conveyance Plat for Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2 (APPROVED)

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on March 6, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS MARCH 10, 2020 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

(I) CALL TO ORDER

(II)**OPEN FORUM**

(III)**ACTION ITEMS**

(1) SP2020-003 (KOREY BROOKS)

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an Amending Site Plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

(2) SP2019-049 (KOREY BROOKS)

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a Site Plan for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

(IV)ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on March 6, 2020 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

PLANNING AND ZONING COMMISSION WORK SESSION CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS FEBRUARY 25, 2020 IN THE CITY COUNCIL CHAMBER

Ι. CALL TO ORDER

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Chairman Eric Chodun called the meeting to order at 6:00 PM. The Commissioners present at the meeting were Sedric Thomas, Annie Fishman, and Vice-Chairman Jerry Welch. Absent from the meeting were Commissioners John Womble, Tracey Logan, and Mark Moeller. Staff members present were Planning and Zoning Director Ryan Miller, Planning Manager David Gonzales, Senior Planner Korey Brooks, Planning and Zoning Coordinator Angelica Gamez, City Engineer Amy Williams, and Civil Engineers Jeremy White and Sarah Johnston.

PLANNING AND ZONING COMMISSION WORK SESSION MEETING

FEBRUARY 25, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

Ш. **OPEN FORUM**

Chairman Chodun explained how Open Forum is conducted and asked if anyone wished to speak to come forward at this time.

Bob Wacker

Mr. Wacker came forward and gave a brief summary as to why he was in favor of the condominiums.

Chairman Chodun then asked if anybody else wished to come forward and speak and there being no one coming forward, Chairman Chodun closed the open forum.

APPOINTMENTS III.

1. Appointment with Architectural Review Board representative to receive the Board's recommendations and comments for items on the agenda requiring architectural review.

A representative from the Architectural Review Board gave a brief explanation concerning the agenda items that were discussed at the Architectural Review Board meeting.

IV. CONSENT AGENDA

2. Approval of Minutes for the *February 11*, 2020 Planning and Zoning Commission meeting.

3. P2020-007 (KOREY BROOKS)

Consider a request by John Arnold of BH Phase XI, LTD on behalf of the owners Cory Knowlton and Chuck Sinks for the approval of a Final Plat for Lots 1-4, Block A, Breezy Hill Lane Addition being a 23.13-acre tract of land identified as Tract 33-1 & 33-02 of the J. Strickland Survey, Abstract No. 187, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated at the terminus of Breezy Hill Road, and take any action necessary.

4. P2020-008 (DAVID GONZALES)

Consider a request by Tom Martin of the Skorburg Co. on behalf of Tom Lynch of Pacesetter Homes, LLC for the approval of an Amending Plat for the Gideon Grove Subdivision consisting of 71 single-family residential lots on a 29.182-acre tract of land identified as Gideon Grove - North Addition, Abstract No. 13, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 77 (PD-77), situated within the 205 By-Pass Corridor Overlay (205 BY-OV) District, located at the northeast corner of the intersection of E. Quail Run Road and John King Boulevard, and take any action necessary.

5. P2020-009 (DAVID GONZALES)

Consider a request by Juan J. Vasquez of Vasquez Engineering, LLC on behalf of John Hammerbeck and Tony Scalise of Rockway Partners, LLC for the approval of an Conveyance Plat for Lots 22 & 23, Block A, La Jolla Pointe Addition, Phase 2 being a 9.941-acre tract of land identified as Lots 6, 7 & 20, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

Vice-Chairman Welch made a motion to approve the consent agenda. Commissioner Fishman seconded the motion which passed by a vote of 4-0 with Commissioners Womble, Logan, and Moeller absent.

V. DISCUSSION ITEMS

6. Z2020-001 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

Planning and Zoning Manager David Gonzales provided a brief history in regards to the request and he advised the Commission that the applicant's contractor was present. In November, there was a permit issued for the construction of a car port. The car port needed a Specific Use Permit (SUP) since its size exceeded 500 square feet. A permit tech discussed this issue with the contractor, and to avoid the SUP process, the contractor revised the plans to show a smaller car port. However, when the revised site plans came through and were approved, an inspector went out and confirmed that the structure had already been constructed before the permit was approved. At the moment, there is a stop work order and the purpose of this application is to get the zoning in place, request a Specific Use Permit, and to make changes to the structure to where it'll be in compliance. Mr. Gonzales then advised the Commission that the applicant was present.

Chairman Chodun asked the applicant to come forward.

Chris Kehrer 410 Normandy Lane Heath, TX 75032

The applicant came forward to provide a brief explanation in regards to the request. Mr. Kehrer explained that when they turned in permits on November 25, 2019, they were told that it would take a period of fifteen (15) days. He stated that they did start early with the foundation because they figured that if they got the foundation letter from the foundation engineer that they would sign off on that. Mr. Kehrer took responsibility for beginning the construction before the appropriate time. By the time they received the notice stating that they would need to go through the zoning process the project was already 90% complete. They did file another permit, which was approved, to bring the wall up on the building but decided against it when they noticed it would be too much air conditioning space.

Planning and Zoning Director Ryan Miller asked whether or not the building would have plumbing or not. The applicant stated that plumbing had been added to the back wall for one toilet or a shower. Mr. Miller then explained that it may come back as a secondary living quarters or guest quarters not as an accessory structure as there are multiple non-conformities with regards to the building.

The applicant's contractor, Mr. Kehrer, clarified that the intent for the building was for the applicant to be able to house his cars and other belongings to add value to the house. He also added that they would need to connect the structure to the house in order for them to be in compliance.

Commissioner Fishman asked for clarity in regards to the zoning on the property.

Chairman Chodun brought the item back to the Commission for questions and discussion. There being no further questions, he indicated that the case will return to the Commission for action at the next scheduled meeting on March 10, 2020.

7. Z2020-002 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a <u>Specific Use Permit (SUP)</u> for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

Chairman Chodun asked whether or not the applicant was present.

Planning and Zoning Director Ryan Miller gave a brief overview as to why these cases were brought upon the Commission and why the applicants were requesting SUPs.

PLANNING AND ZONING COMMISSION AGENDA: FEBRUARY 25, 2020

- 117 1415 Open Bay Court 118 Rockwall, TX 75087 119 120 Mr. Baez came forward and added further information in regards to his request. He explained that the residence he was 121 wanting to build was going to be a two story house with hardie board siding with stone wainscoting that goes around the 122 perimeter of the building. 123 124 Chairman Chodun asked for clarification in regards to the being able to see the surrounding structures. He wanted to ensure 125 that consistency with the surrounding houses was not going to be the deciding factor in each case. Planning and Zoning 126 Director Ryan Miller assured him that they (The Commission) was given discretion with each request individually. 127 128 Chairman Chodun brought the item back to the Commission for questions and discussion. There being no further questions, 129 he indicated that the case will return to the Commission for action at the next scheduled meeting on March 10, 2020. 130 131 8. Z2020-003 (DAVID GONZALES) 132 Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a 133 Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on 134 a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-135 Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary. 136 137 Chairman Chodun asked whether Planning Manager David Gonzales or the applicant from the case before, Reese Baez, had 138 anything to add since the properties being built on the lots were essentially the same. Neither one had any further comment. 139 140 Commissioner Fishman then asked whether there were other two story houses along the same street. Mr. Miller, Planning 141 and Zoning Director, explained that there were other houses similar to the ones being built on the same street. 142 143 Chairman Chodun brought the item back to the Commission for questions and discussion. There being no further questions, 144 he indicated that the case will return to the Commission for action at the next scheduled meeting on March 10, 2020. 145 146 147 Z2020-004 (KOREY BROOKS) 148 Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-149 150 family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, 151 zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 152 705 Peters Colony, and take any action necessary. 153 154 Senior Planner Korey Brooks provided a brief history in regards to the request. He wanted to point out that the front garage 155 on the elevations is more forward than the rest of the home. Typically, homes have to have the garage recessed twenty (20) 156 feet from the front sides of the home whereas in this case the door is recessed behind and the garage is projected forward. 157 Normally, that circumstance would require an exception to be approved in the Southside Overlay District but since an SUP 158 has been requested then it has taken the place of the exception. 159 160 Chairman Chodun asked the applicant to step forward. 161 162 Ambrocio Ibarra 163 171 Crawford Lane 164 Royse City, TX 75189 165 166 The applicant came forward and wanted an explanation of the SUP process since it was his first time going through it. He 167 also asked what the timeline would be for his project to take place. 168 169 Planning and Zoning Director Ryan Miller gave further clarification to Mr. Ibarra's questions. 170 171 Chairman Chodun brought the item back to the Commission for questions and discussion, there being no further questions, 172 indicated the case will return to the Commission for action at the next scheduled meeting. 173 174
 - 10. Z2020-005 (KOREY BROOKS)

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Reese Baez

177 Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for 178 the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-179 family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, 180 zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 181 703 Peters Colony, and take any action necessary. 182 183 Chairman Chodun asked whether Senior Planner Korey Brooks or the applicant, Mr. Ibarra, had anything to add since the 184 properties being built on the lots were essentially the same. Neither one had any further comment. 185 186 Chairman Chodun then brought the item back to the Commission for questions and discussion. 187 188 Commissioner Thomas asked if there were any concerns pertaining to the garage setback. Senior Planner Korey Brooks 189 explained that it was a discretionary decision for the Commission as well as City Council. He also added that there were 190 similar nearby properties in the neighborhood so they do blend in with the surrounding homes. 191 192 Chairman Chodun had a question regarding any issues with water or runoff and whether or not that issue gets looked at. 193 Planning and Zoning Director Ryan Miller clarified that Building Inspections will review a building plan on a lot by lot basis. 194 195 Senior Planner Korey Brooks added that there a Final Plat that came through the middle of last year in front of the 196 Commission so they have seen the plans before. Commissioner Fishman asked if they would be able to see any variations 197 on the homes and Mr. Brooks explained that the homes requesting to be built would be identical. 198 199 Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, advised 200 the applicant that the case will return to the Commission for action on March 10, 2020. 201 202 11. Z2020-006 (KOREY BROOKS) 203 Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for 204 an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, 205 Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 206 2308 Saddlebrook Lane, and take any action necessary. 207 208 Chairman Chodun asked Senior Planner Korey Brooks if the applicant was present and asked him to come forward. 209 210 Greg Givens 211 2308 Saddlebrook Lane 212 Rockwall, TX 75087 213 214 The applicant came forward and provided a brief explanation in regards to the request. He intends to build an oversize 215 detached garage with a driveway leading to the building. The reason for it being oversized is due to the size of his pickup 216 truck which will not fit in his current garage as well as his travel trailer. He wants it to be covered and secure to where nothing 217 is being laid out in the weather. 218 219 Chairman Chodun asked what the neighborhood looked like in regards to houses and structures. Senior Planner Korey 220 Brooks advised the Commission that there had been a similar case brought up to them prior and it had been denied. There 221 are other buildings in the neighborhood but they are brick and not metal buildings. 222 223 Commissioner Thomas remembered the prior case and asked the applicant what the reason was for not wanting to have a 224 brick building. The applicant, Mr. Givens, stated that it was mainly because of the cost of having to build a brick building. 225 Commissioner Thomas then advised Mr. Givens to be prepared to receive a number of people against the case due to the 226 results of the prior case named. 227 228 Chairman Chodun asked Planning and Zoning Director Ryan Miller if they could approve a case based on materials or if they 229 were simply approving the SUP. Mr. Miller explained that according to the City Attorney, material could be discussed or 230 conditioned through an SUP. 231 232 Vice- Chairman Welch asked what the necessary size was needed in order to approve the permit and Mr. Brooks explained 233 that the maximum square footage was 625 square feet. 234 235 Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, advised 236 the applicant that the case will return to the Commission for action on March 10, 2020. 237

12. Z2020-007 (RYAN MILLER)

 Hold a public hearing to discuss and consider a request for the approval of a <u>Text Amendment</u> to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties, and take any action necessary.

Director Ryan Miller came forward and provided a brief explanation in regards to the case. Prior to the January 21, 2020 City Council meeting, a work session had been held to review the fence standards that were approved. City Council directed Staff to make the a few changes to the Unified Development Code (UDC). Specifically, the section containing the standards for the Duplex and Infill Single Family Property fences such as fences in areas where they don't have Planned Development (PD) controls or any that were built without Homeowners Association (HOA) controls. The changes are as follows: remove the top rail and decorative cap requirement; remove the section about it being stained and sealed on both sides; remove the framing being placed on the public side when adjacent to an alleyway but have it remain when adjacent to a street or an adjoining property; remove the free of burrs and splinters requirement; and remove the ½ inch or greater fencing material requirement. Staff put together a set of languages addressing City Council's direction and presented it to them. The only change that was not made was the 1/2 inch or greater fencing material requirement due to the fact that there were only seven (7) or eight (8) products (fence pickets) that were smaller and were of composite material which would require an exception through the fence ordinance. City Council stated that these would be handled on a case by case basis. Mr. Miller advised the Commission that any input or discussion could be had concerning the changes and, ultimately, will be taken and presented to City Council. Mr. Miller then advised the Commission that he was available for questions.

Chairman Chodun asked if there were any other questions for Staff and, there being no further questions, indicated the case will return to the Commission for action at the next scheduled meeting.

13. Z2020-008 (KOREY BROOKS)

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales and Service of Heavy Machinery and Equipment* in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

Senior Planner Korey Brooks advised the Commission that the applicant was present.

Chairman Chodun asked the applicant to come forward.

Tom Jones 5815 Meadow Crest Dallas, TX 75230

Mr. Jones came forward and provided a brief explanation in regards to the request. Mr. Jones explained that he was requesting the outdoor storage for the ten (10) parking spots that are shown at the south end of the building. The rental equipment would be fully loaded on trailers and will be ready to be hooked up or connected to the rear of the vehicle.

Vice-Chairman Welch wanted to know what the difference between this case and a similar case brought before them some time before. Senior Planner Korey Brooks explained that, at the time this application came forward, it was not permitted in a Commercial (C) District. The Commission had previously looked at a text amendment that allowed this use in a Commercial (C) District with an SUP. Essentially, the request presented was the SUP that followed that text amendment.

Commissioner Fishman inquired about what kind of equipment would be used and whether or not the applicant would be doing this for all locations. Mr. Miller explained that they would be using Bobcats or small tract vehicles.

Chairman Chodun asked if there would be a cover provided or if the applicant had considered screening on the South side. The applicant had not considered screening but does have an opportunity to do landscaping, trees, or visual screening as suggested by the Planning and Zoning Commission. Mr. Miller then clarified that it is required by the ordinance to have a screening for the building.

Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, indicated the case will return to the Commission for action at the next scheduled meeting.

14. SP2020-003 (KOREY BROOKS)

298	Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an Amending Site Plan
299	for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall
300	County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east
301	of the intersection of Justin Road and John King Boulevard, and take any action necessary.
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303	Senior Korey Brooks advised the Commission that the applicant was present.
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305	Chairman Chodun asked the applicant to come forward.
306	
307	Tom Jones (Engineer)/ Josh Heinbeck (Architect)
308	5815 Meadow Crest
309	Dallas, TX 75230
310	The employed energy and even ideal brief invest in remarks to the results. They are requesting the energy of an
311 312	The applicant came forward and provided brief input in regards to the request. They are requesting the approval of an Amended Site Blan, which had been approved some time back. He evaluated that Architectural Baview Beard (ABB) had
312	Amended Site Plan, which had been approved some time back. He explained that Architectural Review Board (ARB) had made recommendations regarding the site plan to which the applicant will be making changes to by the next week. Mr. Jones
313	then advised the Commission that he was available to answer any questions they may have.
315	then advised the commission that he was available to answer any questions they may have.
316	Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, indicated
317	the case will return to the Commission for action at the next scheduled meeting on March 10, 2020.
318	
319	15. SP2019-049 (KOREY BROOKS)
320	Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray
321	Hubbard Condominiums Owner's Association, Inc. for the approval of a Site Plan for two (2) multi-family apartment buildings on a
322	6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned
323	Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038
324	Portofino Circle, and take any action necessary.
325	
326	Chairman Chodun asked the applicant to come forward.
327	onaiman onodan asked the applicant to come forward.
328	Daniyal M. Awan
329	3417 Meadows Drive
330	Rockwall, TX 75087
331	
332	The applicant came forward and provided further information in regards to the request. Mr. Awan is requesting the approval
333	of a site plan for a development on the water for a condominium complex. This development was constructed back in 2004-
334	2006. Out of the eighty-five (85) approved condominiums, only seventy-three (73) were built and building structure number
335	two (2) was left unfinished and remains an empty piece of land. Since the building was originally set for eighty-five units,
336	including 85 mail boxes, then the applicant is proposing to add two (2) new buildings with six (6) units on each. Mr. Awan
337	went into further detail in regards to the different sizes and square footage of the units.
338	
339	Vice- Chairman Welch asked whether this was a case that had been previously presented to the Commission. Senior Planner
340	Korey Brooks advised that it was the same case but the applicant had failed to make the revisions needed which then caused
341	the case to be denied. The applicant was then given another chance to resubmit his application with the revisions and
342	request.
343 344	Chairman Chadun asked if there were any other questions for the applicant and there hains no further questions, indicated
344 345	Chairman Chodun asked if there were any other questions for the applicant and, there being no further questions, indicated
345 346	the case will return to the Commission for action at the next scheduled meeting on March 10, 2020.
347	16. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).
348	To. Director's Report of post only obtainer meeting outcomes for development eases (RTAR milletery).
349	P2020-006: Preliminary Plat of Saddle Star South Subdivision [APPROVED]
350	 MIS2020-001: Alternative Tree Mitigation Plan for 2930 Ridge Road [APPROVED]
351	
352	Planning and Zoning Director Ryan Miller provided a brief update about the outcome of the above referenced cases at the
352 353	City Council meeting.
354	ony obtainin meeting.
355	VI. ADJOURNMENT
356 357	Chairman Chodun adjourned the meeting at 6:49 nm
557	Chairman Chodun adjourned the meeting at 6:48 pm.

358 359	PASSED AND APPROVED BY THE PLANNING & ZON	NING COMMISSION OF THE CITY OF ROCKWALL, Texas, this
360	day of	, 2020.
361 362 363 364 365 366	Attest:	Eric Chodun, Chairman
367 368 369 370	Allest. 	



CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission		
DATE:	March 10, 2020		
APPLICANT:	Rob Whittle		
CASE NUMBER:	P2020-010; Lot 24, Block E, Chandlers Landing, Phase 16 Addition		

<u>SUMMARY</u>

Discuss and consider a request by Rob Whittle for the approval of a Replat for Lot 24, Block E, Chandlers Landing, Phase 16 Addition being a 0.16-acre parcel of land identified as Lot 16, Block E, Chandlers Landing, Phase 16 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 295 Victory Lane, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat of one (1) lot (*i.e.* Lot 24, Block E, Chandlers Landing, Phase 16 Addition) for the purpose of establishing a 12-inch sanitary sewer easement necessary in order to develop a single-family home on the site.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- conforming to the requirements for final plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lot 24*, *Block E*, *Chandlers Landing*, *Phase 16 Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Zoning, and Fire Departments shall be addressed prior to the filing of this plat;
- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

	DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Departmer 385 S. Goliad Street Rockwall, Texas 75087		STAFF USE ONLY PLANNING & ZONING CASE NO. P2620 - 010 <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
Please check the appl	ropriate box below to indicate the type of deve	elopment req	uest [SELECT ONLY ONE BOX]:
 [] Preliminary Plat [] Final Plat (\$300.0 [] Replat (\$300.00 [] Amending or Mir [] Plat Reinstateme Site Plan Application [] Site Plan (\$250.00 	0.00 + \$15.00 Acre) ¹ (\$200.00 + \$15.00 Acre) ¹ 00 + \$20.00 Acre) ¹ + \$20.00 Acre) ¹ hor Plat (\$150.00) ent Request (\$100.00) h Fees:	[] Zoni [] Spec [] PD [<i>Other A</i> [] Tree [] Vari <i>Notes:</i> ¹ : In deter	Application Fees: ing Change (\$200.00 + \$15.00 Acre) ¹ cific Use Permit (\$200.00 + \$15.00 Acre) ¹ Development Plans (\$200.00 + \$15.00 Acre) ¹ pplication Fees: e Removal (\$75.00) ance Request (\$100.00) rmining the fee, please use the exact acreage when multiplying by the amount. For requests on less than one acre, round up to one (1) acre.
PROPERTY INFOR	MATION (PLEASE PRINT)		
Address Subdivision General Location	295 Victory Lone Chandlers Landii	ng	Lot 16 Block E
ZONING, SITE PLA	N AND PLATTING INFORMATION [PLEAS	SE PRINT]	
Current Zoning	PD 8 PD 8	Current Proposed	use Residential
Acreage	Lots [Current]	160	Lots [Proposed]
[] <u>SITE PLANS AND PL</u>	ATS: By checking this box you acknowledge that due to	the passage of	HB3167 the City no longer has flevibility with regard to its approval
process, and junure t	to address any of staff's comments by the date provided o	n the Developm	ent Calendar will result in the denial of your case.
Contact Person Address	NT/AGENT INFORMATION [PLEASE PRINT/C Unittle & Johnson 206 Whittle 20 Box 369	HECK THE PRIM [] Applic Contact Per Add	rson
Phone	214 725 9115 Whittle@airmail.net		one
NOTARY VERIFICA			Mail [Owner] the undersigned, who stated the information on
"I hereby certify that I am the cover the cost of this applica	e owner for the purpose of this application; all information tion, has been paid to the City of Rockwall on this the 2	n submitted here	ein is true and correct; and the application fee of $\frac{320.00}{0}$, to $\frac{320.00}{0}$, 20 20. By signing this application, I agree within this application to the public. The City is also authorized and such reproduction associated or in response to a requestion public
Given under my hand and se	al of office on this the <u>21</u> day of <u>FebRun</u>	¢, 20 20	WOTARY PUBLIC * MY COMMISSION EXPIRES 6-27-2020
	Owner's Signature	m fit	NOTARY ID# 13071781-1
Notary Public in and f	for the State of Texas 5C McOur	een	My Commission Expires $(6 - 27 - 2020)$

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7727





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





OWNER'S CERTIFICATE (Public Dedication)

STATE OF TEXAS COUNTY OF ROCKWALL

WHEREAS DAN WARDLOW and JOANN WARDLOW, BEING THE OWNERS OF A TRACT OF land in the County of Rockwall, State of Texas, said tract being described as follows:

All that certain lot, tract or parcel of land situated in the EDWARD TEAL SURVEY, ABSTRACT NO. 207, City of Rockwall, Rockwall County, Texas, and being Lot 16, Block E, Replat of Part of Chandlers Landing Phase 16, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Plat thereof recorded in Cabinet B, Slide 270, Plat Records, Rockwall County, Texas. and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the curving south right-of-way line of Victory Lane, at the northeast corner of Lot 16 and the northwest corner of Lot 15, Block E;

THENCE S. 02 deg. 24 min. 16 sec. W. along the common line between Lot 15 and Lot 16, a distance of 119.83 feet to a 1/2" iron rod found for corner;

THENCE N. 89 deg. 48 min. 50 sec. W. a distance of 92.73 feet to a 1/2" iron rod found for corner at the southeast corner of Lot 17R, Block E, Replat Chandlers Landgin Phase 16, an Addition to the City of Rockwall, Texas, according to the Plat thereof recorded in Cabinet D, Slide 274 of the Plat Records of Rockwall County, Texas;

THENCE N. 31 deg. 42 min. 26 sec. E. along the southeast boundary of Lot 17R, Block E, a distance of 147.74 feet to a 1/2" iron rod found for corner at the northeast corner of Lot 17R and northwest corner of Lot 16, Block E and in the curving couth right-of-way line of Victory Lane;

THENCE in a southeasterly direction along a curve to the left having a central angle of 29°24'05", a radius of 41.50 feet, a tangent of 10.89 feet, a chord of S 72°41'20"E, 21.06 feet and along said right-of-way line, an arc distance of 21.30 feet to the POINT OF BEGINNING and containing 7,039 square feet or 0.16 acres of land. NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

NOW, THERE I ORE, KNOW ALL MEN DT THESE

STATE OF TEXAS COUNTY OF ROCKWALL

I the undersigned owner of the land shown on this plat, and designated herein as CHANDLERS LANDING PHASE 16, LOT 16R, BLOCK E, an Addition to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein expressed. I further certify that all other parties who have a mortgage or lien interest in CHANDLERS LANDING PHASE 16, LOT 16R, BLOCK E, have been notified and signed this plat.

We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same.

We also understand the following;

1. No buildings shall be constructed or placed upon, over, or across the utility easements as described herein.

2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of th eir respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maint aining, and either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone.

3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the establishment of grade of streets in the subdivision.

4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements.

5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage controls such that properties within the drainage area are not adversely affected by storm drainage from the development.

6. No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision Regulations of the City of Roc kwall regarding improvements with respect to the entire block on the street or streets on which property abuts, including the actual installation of streets with the required base and paving, curb and gutter, water and sewer, drainage structures, sto rm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or

Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer an d/or owner fail or refuse to install the required improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as p rogress payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or

Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.

We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of the subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; We, our successors and assigns hereby waive any claim, damage, or cause of action that We may have as a result of the dedication of exaction's made herein.

DAN WARDLOW

JOANN WARDLOW

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared DAN WARDLOW known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of ____

Notary Public in and for the State of Texas

My Commission Expires:

NOTE: It shall be the policy of the City of Rockwall to withhold issuing building permits until all streets, water, sewer and storm drainage systems have been accepted by the City. The approval of a plat by the City does not constitute any representation, assurance or guarante that any building within such plat shall be approved, authorized or permit therefore issued, as required under Ordinance 83-54.

STATE OF TEXAS COUNTY OF ROCKWALL

Before me, the undersigned authority, on this day personally appeared JOANN WARDLOW known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given upon my hand and seal of office this _____day of ____

Notary Public in and for the State of Texas

My Commission Expires:

	SURVEYOR'	S CERTIFICA	TE					
	REFORE KNOW ALL							
THAT I, Hai from an acti	rold D. Fetty, III, R.P.I ual and accurate surv rly placed under my p	.S. No. 5034 ey of the land	, do hereby certi l, and that the co	fy that I prepare rner monument	d this plat s shown there	on		
	ny placed under my p	ersonal super	VISION.		F	ATE OF TET	7	
					ŝ	REGISTERED T	o d	
Harold D. F	etty, III Professional Land Su	nuovor No. 50	124			IAROLD D. FETTY III		
Registered		1veyor 10. 50				POFESSION TO		
					K	SURVEY SURVEY	>	
RECOMME	NDED FOR FINAL A	PPROVAL						
Planning a	nd Zoning Commissio	on Date						
J. J	Ū.							
	APPROV	ED						
I hereby cer	tify that the above and t	oregoing plat o	of CHANDLERS L	ANDING PHASE	16, itv. of			
	tify that the above and f LOCK E, an addition to exas, was approved by ,	the City Counc	il of the City of Ro	ckwall on the	_day			
This approv	al shall be invalid unles County Clerk of Rockw	s the approved	plat for such add	tion is recorded ir ndred eighty (180	n the)) days			
from said da	n shall be subject to all							
City of Rock	wall.							
WITNESS (OUR HANDS, this	day of						
<u></u>								
Mayor, City	of Rockwall		City Secretary C	ity of Rockwall				
City Engine	er		Date					
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CITY CASE NO. P2020-



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission		
DATE:	March 10, 2020		
APPLICANT:	Jim Ziegler; Pegasus Ablon		
CASE NUMBER:	P2020-011; Replat for Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition		

SUMMARY

Discuss and consider a request by Jim Ziegler of Pegasus Ablon for the approval of a Final Plat for Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition being a 6.119-acre parcel of land identified as Lot 9, Block A, Harbor-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the intersection of Lakefront Trail and the IH-30 frontage road, and take any action necessary.

PLAT INFORMATION

- ☑ The applicant is requesting the approval of a replat for a 6.119-acre tract of land for the purpose of subdividing the property into three (3) lots [*i.e. Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition*], and to establish the necessary easements [*i.e. 24-foot firelane, detention, drainage, and utility easements*] for the construction of 375-unit condominium development and a parking garage with 180 public parking spaces.
- ☑ On January 15, 2019, the Planning and Zoning Commission approved a site plan for a 375-unit condominium development [*Case No. SP2018-043*] on the subject property. Prior to this approval, on June 17, 2013, the City Council approved *Ordinance No. 13-16*, which allocated 399 urban residential units (*i.e. condominiums*) to a concept plan that showed two (2) condominium buildings being constructed on the subject property (i.*e. one [1] adjacent to Lakefront Trail consisting of 349-units and one [1] adjacent to the Harbor Fountain consisting of 50-units*). This approval was later amended on December 18, 2017, when the City Council approved *Ordinance No. 17-64*. The new amendment allocated an additional 51-units to the previously entitled 399-units, bringing the total number of entitled units to 450 urban residential units.
- ☑ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☑ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the replat for *Lots 10, 11, & 12, Block A, Harbor-Rockwall Addition*, staff would propose the following conditions of approval:

(1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat;

- (2) The development shall conform the recommendations made by the Parks and Recreation Board at the January 3, 2019 meeting. The fees calculated for the development shall be the fees in place at the time of the approval of the final plat.
- (3) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

	DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Departmen 385 S. Goliad Street Rockwall, Texas 75087		<u>NOTE:</u> TH CITY UNT SIGNED B	G & ZONING CASE NO. IE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE IL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE ELOW. R OF PLANNING:	
Please check the a	ppropriate box below to indicate the type of deve	lopment req	uest (Res	olution No. 05-22) [SELECT ONLY ONE BOX]:	
Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acre) ¹ [] Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ [] Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ [] Final Plat (\$300.00 + \$20.00 Acre) ¹ [] Replat (\$300.00 + \$20.00 Acre) ¹ [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) ¹ [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)			Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ [] Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) Notes: ¹ : In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, only the "base fee" is required.		
PROPERTY INFO	DRMATION [PLEASE PRINT]				
Address					
Subdivision	TRACT 16 ABST. Nº 11 & HARBON	ROCKW	ALL ADD	D. Lot 9 Block A	
	S.E.C. LAKEFRONT TR. AT				
ZONING, SITE P	LAN AND PLATTING INFORMATION [PLEAS	E PRINT]			
Current Zoning	PD-32 ORD. Nº 17-64	Curren	:Use 🔰	ACANT & PARKING LOT	
Proposed Zoning	Beneric and the methods is a second period of even to the latent provide the second second s			1.F. & PARKING GARAGE	
Acreage	7.358 Lots [Current]	2		Lots [Proposed] 3	
	ats: By checking the box at the left you agree to waive Local Government Code.	the statutory	time limit	for plat approval in accordance with Section	
OWNER/APPLIC	CANT/AGENT INFORMATION [PLEASE PRINT/C	HECK THE PRIN	ARY CONT	ACT/ORIGINAL SIGNATURES ARE REQUIRED]	
[] Owner	ROCKWALL RENTAL PROPERTIES LI			EGASUS ABLON	
Contact Person		Contact Pe		IM ZIEGER	
Address	1600 WEST MORE	Add	ress 🔒	222 DOUGLAS AVE.	
	DRAWER B		5	UITE 390	
City, State & Zip	TERRELL, TX 75160	City, State 8	Zip 🕻	ALLAS, TX 752.25	
Phone	972-210-0331	Ph		14-389-6195	
E-Mail		E-	Vail J	ziegler@PeggsusAblon.com	
Before me, the undersig	CATION [REQUIRED] ned authority, on this day personally appeared Sames ication to be true and certified the following:	Ziegle	(0	wner/Applicant Name] the undersigned, who stated the	
the application fee of \$, 20 By signing the public. The City is a associated or in response	m the owner, or duly authorized agent of the owner, for the , to cover the cost of this application, has b this application I agree that the City of Rockwall (i.e. "City") is also authorized and permitted to reproduce any copyrighted e to a request for public information."	een paid to the authorized and i information s	City of Roci permitted Ibmitted in	kwall on this the day of to provide information contained within this application to conjunction with this application, if such reproduction is	
	d seal of office on this the 20 day of 00000	<u>,</u> 20 <u>9</u>	T	KRIS T STOKES My Notary ID # 11794392	
	r's/Applicant's Signature			Expires May 3, 2021	
	ind for the State of Texas			My Commission Expires May 3, 2021	

DEVELOPMENT APPLICATION = CITY OF ROCKWALL = 385 SOUTH GOLIAD STREET = ROCKWALL, TX 75087 = [P] (972) 771-7745 = [F] (972) 771-7745





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





PROPERTY DESCRIPTION TRACT 1			STANDARD CITY SIGNATURE BLOCK			
STATE OF TEXAS § COUNTY OF ROCKWALL §	NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:				nc. nc. ⁸⁰⁻⁷⁰⁹⁰	
BEING a tract of land situated in the M. J. BARKSDALE SURVEY, ABSTRACT NO. 11, in the City of Rockwall, Rockwall County,	COUNTY OF ROCKWALL	Planning & Zoning Commission, Chairma	n Date			
Texas, and being all of Lot 9, Block A, Harbor Rockwall Addition, an addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet J, Slide 191, (County Clerk's Instrument No. 20170000015993), Official Public Records, Rockwall, County, Texas, and a portion of the same tract of land described in deed to Rockwall Rental Properties, L.P. as recorded in Volume 6846, Page 315, Official Public Records, Rockwall County, Texas, and being more particularly described as	WE, ROCKWALL RENTAL PROPERTIES, L.P., the undersigned ownerS of the land shown on this plat, and designated herein as the HARBOR-ROCKWALL ADDITION subdivision to the City of Rockwall, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, water courses, drains, easements and public places thereon shown on the purpose and consideration therein	APPROVED: I hereby certify that the above and forego Council of the City of Rockwall on the				
follows: BEGINNING at a 5/8-inch iron rod with plastic cap stamped "RPLS 1830" found for the most Northerly corner of said Lot 9, Block A and	expressed. we further certify that all other parties who have a mortgage or lien interest in the HARBOR-ROCKWALL ADDITION subdivision have been notified and signed this plat. We understand and do hereby reserve the easement strips shown on this plat for the purposes stated and for the mutual use and accommodation of all utilities desiring to use or using same. We also understand the following;	This approval shall be invalid unless the a Rockwall, County, Texas, within one hund	Assoc Assoc Assoc Assoc Ingineers Registi s No. 10086600 2020, Winkelma			
being the intersection of the Southwesterly right-of-way of Lakefront Trail, a variable width right-of-way, with the Southeasterly right-of-way of Interstate Highway 30, a variable width right-of-way;	 No buildings shall be constructed or placed upon, over, or across the utility easements as described 	WITNESS OUR HANDS, this day	of, 20		& BRINEUL CONSUL Texas E Surveyor IGHT ©	
THENCE departing said Southeasterly right-of-way and along said Southwesterly right-of-way, the following courses and distances:	herein. 2. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences,				T PLAZA 755 Texas COPYR	
South 29 deg 37 min 52 sec East, a distance of 9.98 feet to a 1/2-inch iron pipe found for corner and the beginning of a curve to the left having a radius of 680.00 feet, a central angle of 28 deg 28 min 30 sec, a chord bearing of South 43 deg 52 min 07 sec East, and a chord length of 334.48 feet;	trees, shrubs, or other growths or improvements which in any way endanger or interfere with construction, maintenance or efficiency of their respective system on any of these easement strips; and any public utility shall at all times have the right of ingress or egress to, from and upon the said easement strips for purpose of construction, reconstruction, inspecting, patrolling, maintaining, and	Mayor, City of Rockwall	City Secretary	City Engineer	6750 HILLCRES	
Along said curve to the left, an arc distance of 337.95 feet to a 5/8-inch iron rod found for corner and the beginning of a curve to the right having a radius of 620.00 feet, a central angle of 12 deg 35 min 10 sec, a chord bearing of South 51 deg 48 min 46 sec East and a chord length of 135.92 feet;	 either adding to or removing all or part of their respective system without the necessity of, at any time, procuring the permission of anyone. 3. The City of Rockwall will not be responsible for any claims of any nature resulting from or occasioned by the perturbative of any design of a state of the perturbative of the perturb		CUR	VE TABLE		
Along said curve to the right, an arc distance of 136.19 feet to an "X" cut in concrete found for corner;	 the establishment of grade of streets in the subdivision. 4. The developer and subdivision engineer shall bear total responsibility for storm drain improvements. 5. The developer shall be responsible for the necessary facilities to provide drainage patterns and drainage 	LINE TABLE				
South 45 deg 31 min 13 sec East, a distance of 84.59 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner	controls such that properties within the drainage area are not adversely affected by storm drainage from	LINE # BEARING DISTANCE	C1 12°35'10" 620.00'	136.19' 135.92' S51°48'46	—————————————————————————————————————	
and the beginning of a curve to the right having a radius of 680.00 feet, a central angle of 09 deg 44 min 28 sec, a chord bearing of South 40 deg 10 min 38 sec East and a chord length of 115.47 feet;	 No house dwelling unit, or other structure shall be constructed on any lot in this addition by the owner or any other person until the developer and/or owner has complied with all requirements of the Subdivision 	L1 S79°07'41"W 7.21'	C2 7°43'48" 30.00'	4.05' 4.04' \$25°45'58	—— Ž Ē Ψ	
Along said curve to the right, an arc distance of 115.61 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner		L2 N23°10'29"E 32.93'	C3 11°21'44" 30.00'	5.95' 5.94' N35°18'44	── │ ४४ 87%,92	
South 34 deg 50 min 04 sec East, a distance of 89.41 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 1830" found for corner and the beginning of a curve to the left having a radius of 680.00 feet, a central angle of 02 deg 30 min 40 sec, a chord	paving, curb and gutter, water and sewer, drainage structures, storm structures, storm sewers, and alleys, all according to the specifications of the City of Rockwall; or	L3 N66°36'24"W 31.00'	C4 15°56'35" 42.00'	11.69' 11.65' N37°36'10		
bearing of South 36 deg 05 min 23 sec East and a chord length of 29.80 feet;	 Property owner shall be responsible for maintaining, repairing, and replacing all systems within the drainage and detention easements. 	L4 N23°10'29"E 27.95'	C5 19°16'03" 42.00'	14.12' 14.06' N35°56'26	─────────────────────────────────────	
Along said curve to the left, an arc distance of 29.80 feet to an "X" cut in concrete found for corner, said "X" cut being the most Easterly Southeast corner of said Lot 9, Block A;	Until an escrow deposit, sufficient to pay for the cost of such improvements, as determined by the city's	L5 N82°38'15"W 11.76'	C6 34°14'54" 87.00'	52.00' 51.23' N09°10'57	──┤▌ ᅆᇂ ᆝᇭ⊢╙┨	
THENCE departing the Southeasterly right-of-way of said Lakefront Trail and along the Southerly line of said Lot 9, Block A, the	engineer and/or city administrator, computed on a private commercial rate basis, has been made with the city secretary, accompanied by an agreement signed by the developer and/or owner, authorizing the city to make	L6 S68°52'14"W 13.20'	C7 34°52'48" 43.00'	26.18' 25.77' N09°29'5	<u>,5"₩</u> ₩22 -] > ⊢	
following courses and distances:	such improvements at prevailing private commercial rates, or have the same made by a contractor and pay for the same out of the escrow deposit, should the developer and/or owner fail or refuse to install the required	L7 S75°08'27"W 12.97'	C8 27°44'27" 40.00'	19.37' 19.18' N40°48'33	 3"₩ 0.608	
South 53 deg 33 min 15 sec West, a distance of 47.25 feet to an "X" cut in concrete found for corner;	improvements within the time stated in such written agreement, but in no case shall the City be obligated to make such improvements itself. Such deposit may be used by the owner and/or developer as progress	L8 S36°32'06"W 17.64'	C9 17°08'12" 697.50'	208.62' 207.84' S49°32'16		
North 89 deg 32 min 04 sec West, a distance of 208.59 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner:	payments as the work progresses in making such improvements by making certified requisitions to the city secretary, supported by evidence of work done; or	L9 S19°31'45"W 20.19'	C10 12°35'10" 602.50'	132.35' 132.08' S51°48'46		
South 79 deg 07 min 41 sec West, a distance of 7.21 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	Until the developer and/or owner files a corporate surety bond with the city secretary in a sum equal to the	L10 S34°50'04"E 89.53'	C11 9°43'43" 662.50'	112.49' 112.36' N40°10'38		
North 23 deg 10 min 29 sec East, a distance of 32.93 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	cost of such improvements for the designated area, guaranteeing the installation thereof within the time stated in the bond, which time shall be fixed by the city council of the City of Rockwall.	L11 S36°05'23"E 30.10'	C12 15°56'35" 30.00'	8.35' 8.32' \$37°36'10		
North 66 deg 36 min 24 sec West, a distance of 31.00 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	We further acknowledge that the dedications and/or exaction's made herein are proportional to the impact of	L12 S26°18'24"E 39.48'	C13 19°16'03" 54.00'	18.16' 18.07' N35°56'26		
North 23 deg 10 min 29 sec East, a distance of 27.95 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	the Subdivision upon the public services required in order that the development will comport with the present and future growth needs of the City; I (we), my (our) successors and assigns hereby waive any claim,	L13 S26°56'19"E 3.47'	C14 35°45'40" 99.00'	61.79' 60.79' N08°25'34		
North 66 deg 47 min 29 sec West, a distance of 102.00 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for	damage, or cause of action that I (we) may have as a result of the dedication of exactions made herein.	L14 N52°53'12"E 14.60'	C15 36°23'35" 31.00'	19.69' 19.36' S08°44'3'	— I b a	
corner;		L15 S29°37'52"E 50.19'	C16 52°48'24" 30.00'	27.65' 26.68' \$53°20'3 [,]		
South 23 deg 10 min 29 sec West, a distance of 102.04 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner:	Property Owner Signature	L16 N59°47'55"E 2.94'	C17 22°18'25" 137.35'	53.47' 53.14' N68°35'30		
North 82 deg 38 min 15 sec West, a distance of 11.76 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	STATE OF TEXAS COUNTY OF	L17 N66°27'49"W 6.83'	C18 69°40'31" 30.00'	36.48' 34.28' N87°43'27		
South 68 deg 52 min 14 sec West, a distance of 13.20 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	Before me, the undersigned authority, on this day personally appeared ROCKWALL RENTAL PROPERTIES,	L18 S46°57'41"E 20.62'	C19 21°40'44" 320.00'	121.08' 120.36' N42°02'50		
South 75 deg 08 min 27 sec West, a distance of 12.97 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	L.P., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.	L19 S43°02'19"W 11.54'	C20 11°49'51" 330.00'	68.14' 68.02' S37°07'24	<u></u> T 	
South 36 deg 32 min 06 sec West, a distance of 17.64 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner;	Given upon my hand and seal of office thisday of, 20	L20 N66°47'29"W 21.92'	C21 11°49'51" 310.00'	64.01' 63.90' S37°07'24	4"W 715 KEPI	
South 52 deg 53 min 12 sec West, a distance of 79.47 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner		L21 N47°16'43"W 8.50'	C22 21°40'44" 340.00'	128.64' 127.88' N42°02'50		
and the beginning of a non-tangent curve to the left having a radius of 116.35 feet, a central angle of 78 deg 02 min 10 sec, a chord bearing of North 77 deg 25 min 32 sec West and a chord length of 146.50 feet;	Notary Public in and for the State of Texas My Commission Expires	L22 N42°43'17"E 20.00'	C23 75°00'13" 30.00'	39.27' 36.53' S89°36'4		
Along said non-tangent curve to the left, an arc distance of 158.47 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner:	SURVEYOR'S CERTIFICATE	L23 S47°16'43"E 8.50'	C24 31°24'19" 117.35'	64.32' 63.52' N67°48'44	4"W 6	
THENCE South 63 deg 41 min 36 sec West, continuing along said south line, a distance of 286.13 feet to a 5/8-inch iron	NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS:	L24 N42°34'28"W 15.00'	C25 56°34'35" 30.00'	29.62' 28.43' S55°13'36		
rod with plastic cap stamped ""RPLS 1830" found for the most Westerly Southwest corner of said Lot 9, Block A;	THAT I, Leonard J. Lueker, do hereby certify that I prepared this plat from an actual and accurate survey of	L25 N47°25'32"E 10.00'	C26 18°12'18" 55.00'	17.48' 17.40' S17°50'10	0"E 2	
THENCE North 22 deg 25 min 53 sec West, along a west line of said Lot 9, Block A, a distance of 109.69 feet to a 5/8-inch iron rod with plastic cap stamped "RPLS 1830" found for corner, and being a Northwest corner of said Lot 9,	the land, and that the corner monuments shown thereon were properly placed under my personal supervision.	L26 S42°34'28"E 15.00'	C27 107°34'24" 30.00'	56.33' 48.41' N62°31'12	2"W X	
Block A and the southwest corner of a tract of land as described in deed to DRZW Holdings, Ltd., recorded in Volume		L27 S34°50'04"E 63.70'	C28 109°16'03" 30.00'	57.21' 48.93' N09°03'34	4"E	
6905, Page 195, Official Public Records, Rockwall County, Texas;		L28 S06°21'17"E 6.21'	C29 15°56'35" 54.00'	15.03' 14.98' S37°36'10	0"E	
THENCE North 59 deg 47 min 55 sec East, along a north line of said Lot 9, Block A and the southeasterly line of said DRZW Holdings tract, a distance of 346.78 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner,	Surveyor Signature Registered Public Surveyor No	L29 S83°38'43"W 20.00'	C30 63°51'08" 30.00'	33.43' 31.73' S84°22'50	0"E	
said iron rod being the Southeast corner of said DRZW Holdings, tract;		L30 N06°21'17"W 6.21'	C31 2°28'21" 710.00'	30.64' 30.64' \$36°04'1	5"E	
THENCE North 45 deg 34 min 27 sec West, along the Westerly line of said Rockwall Rental Properties tract, a distance of 383.71 feet to a 1/2-inch iron rod with red plastic cap stamped "WAI" set for corner, said iron rod being situated in the Southeasterly right-of-way of		L31 S45°34'02"E 4.39' L32 S43°02'19"W 19.89'	C32 31°19'30" 2.00'	1.09' 1.08' \$58°42'04]	
said Interstate Highway 30;		L33 N46°57'41"W 4.39'	C33 2°46'54" 30.00'	1.46' 1.46' N41°38'52		
THENCE North 60 deg 22 min 08 sec East, along said Southeasterly right-of-way, a distance of 426.90 feet to the POINT OF BEGINNING.			C34 30°00'00" 187.50'	98.17' 97.06' N48°41'36	<u>č</u> ^z <u>ö</u> ž	
CONTAINING within these metes and bounds 7.358 acres or 320,524 square feet of land, more or less. Bearings shown hereon are based upon an on-the-ground Survey performed in the field on the 8th day of January, 2018, utilizing a G.P.S.			C35 30°00'00" 212.50'	111.26' 110.00' N48°41'36	Date : Scale :	
measurement (NAD 83) from the City of Rockwall, Texas - Control Monumentation, established May 6, 1999, Monument Nos. Reset #1 and R014.			F	REPLAT		
DEVELOPER: OWNER: SURVEYOR/ENGINEER: PEGASUS ABLON ROCKWALL RENTAL Winkelmann & Associates, Inc.				CKWALL ADDITI	ON SHEET	
JIM ZIEGLER PROPERTIES, L.P. 6750 Hillcrest Plaza Drive				10-12, BLOCK A 3 ACRES OUT OF THE		
8222 DOUGLAS AVENUE,1608 WEST MORE, DRAWER BSuite 215SUITE 390TERREL, TX 75160Dallas, Texas 75230			M. J. BARKSDALE	SURVEY, ABSTRACT NO.	11 OF	
DALLAS, TX 75225 ph# 972-210-0331 ph# 972-490-7090 ph# 214-389-6195				WALL, ROCKWALL	2	

0A\SURVEY\Plats\59809.0A-FPLT.dwg 1598\09



CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Daniyal M. Awan; Plutus21 Development Fund 5, LLC
CASE NUMBER:	SP2019-049; Site Plan for Waters Edge at Lake Ray Hubbard

<u>SUMMARY</u>

Discuss and consider a request by Daniyal M. Awan of Plutus21 Development Fund 5, LLC on behalf of Water's Edge at Lake Ray Hubbard Condominiums Owner's Association, Inc. for the approval of a <u>Site Plan</u> for two (2) multi-family apartment buildings on a 6.5995-acre parcel of land identified as Lot 1, Block A, Villas De Portofino Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 22 (PD-22) for Marina, Retail, Office, and Apartment/Condominium land uses, addressed as 2000-2038 Portofino Circle, and take any action necessary.

BACKGROUND

The subject property was annexed in 1973 [*Ordinance No.* 73-41] is zoned Planned Development District 22 (PD-22) for marina, retail, office, and apartment/condominium land uses and is addressed as 2000-2038 Portofino Circle. On November 4, 1984, the City Council approved *Ordinance No.* 83-18, which established the development standards for Planned Development District 22 (PD-22), which was later amended by *Ordinance No.* 84-52. On June 19, 2000, the City Council approved a request [*Case No. PZ2000-043*] for a final plat for Lot 1, Block A, Villas De Portofino Addition. On June 2, 2001, the City Council approved a request [*Case No. PZ2000-120*] for a site plan for a 74-unit condominium development (*i.e. Villas De Portofino, Phase 11*) on the subject property. The development was later constructed; however, there is a remainder tract of land that was never developed (*i.e. the subject property*).

PURPOSE

The applicant is requesting approval of site plan for the purpose of constructing two (2) multi-family condominium buildings on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 2000-2038 Portofino Circle. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is a hotel (*i.e. Hilton Bella Harbor*) followed by Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this, there is a single-family residential subdivision (*i.e. Lago Vista Subdivision*) and the Harbor. These areas are zoned Planned Development District 7 (PD-7), Planned Development District 19 (PD-19), and Planned Development District 32 (PD-32) for General Retail (GR) District, zero-lot-line single-family, and townhouse land uses.
- <u>South</u>: Directly south of the subject property there is a multi-family residential subdivision (*i.e. Signal Ridge Subdivision*) followed by another residential subdivision (*i.e. Chandlers Landing*). Beyond this is Yacht Club Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Further south, there are several more single-family homes and condominiums within the Chandlers Landing Subdivision. These areas are zoned Planned Development District 15 (PD-15) and Planned Development District 8 (PD-8) for single-family and multi-family land uses.

- *East*: Directly east of the subject property, there is a condominium building (*i.e. Waters Edge at Lake Ray Hubbard*) followed by several condominium buildings that are part of the Signal Ridge, Phase 1 Subdivision. These areas are zoned Planned Development District 22 (PD-22) and Planned Development District 15 (PD-15) for Multi-Family 14 (MF-14) District land uses. Following this is Single Ridge Place, which is identified as a *R2* (*residential*, *two [2] lane, undivided roadway*) on the Master Thoroughfare Plan.
- <u>West</u>: Directly west of the subject property, there are several condominium buildings that are part of the Waters Edge at Lake Ray Hubbard Subdivision. This area is zoned Planned Development District 22 (PD-22) for Multi-Family 14 (MF-14) District land uses. Beyond this is the Takeline and Lake Ray Hubbard, which are located within the City of Dallas.

DENSITY AND DIMENSIONAL REQUIREMENTS

The applicant is proposing to construct two (2) condominium buildings that will include six (6) units each. The proposed land use is permitted by-right in Planned Development District 22 (PD-22) and will not require any additional approvals with regard to land use. The proposed buildings will utilize the same architectural design and materials as the existing buildings. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within Planned Development District 22 (PD-22). A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	X=286,476 SF; In Conformance
Minimum Lot Frontage	60-Feet	X=190-Feet; In Conformance
Minimum Lot Depth	100-Feet	X=155-777-Feet: In Conformance
Minimum Front Yard Setback	25-Feet	X=25-Feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X=10-Feet; In Conformance
Minimum Side Yard Setback	10-Feet	X=10-Feet; In Conformance
Maximum Building Height	36-Feet	X=35-Feet; In Conformance
Max Building/Lot Coverage	45%	X=9%; In Conformance
Minimum Number of Parking Spaces	24-Spaces	X=27-Spaces; In Conformance

TREESCAPE PLAN

The applicant has indicated that there are no protected trees requiring mitigation on the subject property.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.12, *Multi-Family 14 (MF-14) District*, of Section 03, Residential Districts, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Multi-Family 14 (MF-14) District is the proper zoning classification for higher density developments. This zoning district should be located within 1,200-feet of retail and other services and should not contain more than 500 units within one (1) mile of another multi-family development. The Multi-Family 14 (MF-14) District allows high density developments that should not run traffic though single-family neighborhoods and should be located close to an arterial or collector street that is capable of carrying the additional traffic. The subject property is zoned Planned Development District 22 (PD-22), which allows Multi-Family 14 (MF-14) District land uses. Additionally, the subject property is located within close proximity to a *Minor Collector (i.e. Summer Lee Drive*), which is capable of carrying high volumes of traffic. The proposed development is located within close proximity to the Harbor, which provides retail and other services to this development. Due to these reasons, the applicant's request appears to conform to the requirements stipulated in the Unified Development Code (UDC).

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Harbor District. The Harbor District is an entry portal into the City of Rockwall and is intended to provide a pedestrian oriented, mixed-used district that accommodates residential, non-residential, and public spaces. The district is characterized by the live, work, and play environment that will be provided through professional offices, scenic condominiums, and an abundance of shopping,

restaurants, entertainment, and recreational opportunities. The Harbor District is intended to act as a regional commercial center that offers a unique alternative to the small town, local shopping options provided in the City's Downtown Square. District strategies include the development of mixed-use areas, utilizing neighborhood/convenience centers as a transition from the adjacent mixed-use district, and residential infill development that is compatible with the surrounding structures. In this case, the applicant is proposing to construct two condominium buildings on the subject property. In addition, the applicant is proposing to utilize an architectural style and materials that match the existing condominiums within the area. Due to this, the applicant's request appears to be in conformance with the guidelines outlined in the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

The Architectural Review Board will review the proposed building elevations and will forward a recommendation to the Planning and Zoning Commission at the meeting on March 10, 2020.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

(1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





EXISTING LEGEND						
A GAS MARKER						
△ GAS METER	d d CONCRETE					
	>><= COVERED AREA					
	— — — — EASEMENT					
SAN. SEW. CO.	FIRE LANE STRIPE					
SAN. SEW. MH.	GRAVEL					
STONE COLUMN	GUY WIRE ANCHOR					
D STORM DRAIN MH.						
TELE. BOX	(L HANDICAP SPACE					
TRANS. BOX	HIGHBANK LINE					
	IRON FENCE					
	NO PARKING					
	OHU OVERHEAD UTILITY LINE					
WATER VALVE	— — — PARKING STRIPE					
ASPHALT						
X BARBED WIRE FENCE	RETAINING WALL					
BOUNDARY	STONE					
BRICK	TILE					
BUILDING LINE	WOOD DECK					
BUILDING WALL	// WOOD FENCE					

SS	PORTOFINO DRIVE		
ł	287,476 S.F. / 6.60 ACRES		
	T.B.D.		
	PD-22		
	CONDOMINIMUMS		
	CONDOMINIMUMS		
LOT COVERAGE DATA			
AGE	25,950 S.F. (%)		
RINT	8,650 S.F. (%) 1,650 S.F. GARAGE		
AREA	25,950 S.F. (%)		
ERAGE	_, S.F. (%)		
RAGE	_, S.F. (%)		
PARKING S	UMMARY		
REQUIREMENTS			
KING - 2 SPACES PER UNIT			
PACES REQUIRED = 24			
PACES PROVIDED = 27			
BUILDING DATA			
	2 BUILDINGS & 1 GARAGE		
	3		
	35'-0"		
OOTAGE	25,950 S.F.		

EASEMENT/SETBAC	K LEGEND	
СК	B.S.	
BACK	L.S.	
SS & UTILITY EASEMENT	F.A.U.E.	
SS & DRAINAGE EASEMENT	F.A.D.E.	
NT	A.E.	
IENT	S.E.	
REASEMENT	S.S.E.	
т	W.E.	
EMENT	E.E.	
IT	U.E.	
ENTION EASEMENT	D.D.E.	

DESCRIPTION	ΒY	
1st CITY SUBMITTAL	ΚP	è l
2nd CITY SUBMITTAL	ΚP	
_	ΚP	
_	ΚP	PX
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		04 /4/



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ROCKWALL.

2. A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.

3. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.

4. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.

5. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS.", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.

6. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.

7. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.

8. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.

9. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

WA	ATER ME SEWEI			
ID	TYPE	SIZE	NO.	SAN. SEW.
G	DOM.	2"	2	6"
	IRR.	1"	1	N/A



PORTOFINO DRIVE CITY OF ROCKWALL ROCKWALL COUNTY, TEXAS

	TRIANGLE
--	----------

W: triangle-engr.com O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013					
Planning Civil Engineering Construction Management					
ESIGN	DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	MLM	11/7/2019	SEE SCALE BAR	040-19	0

TX PE FIRM #11525

ত

01/16/2020

97534





- STONE WATER TABLE - STUCCO SILL - STUCCO TO MATCH EXISTING

WEST ELEVATION 100% MASONRY 9% STONE 91% STUCCO

OWNER PLUTUS21 DEVELOPMENT 6116 N. CENTRAL EXPWY #700 DALLAS, TEXAS 75206

2

33,

PRICING & CONSTRUCTION GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3. ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

CASE #SP2020-000

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		MERSHAWN ARCHITECTS		ROCKWALL, TEXAS 75087 FAX: 972-249-2081
				By
				Revision
				No. Date
PLUTUS 21 FP'S EDGE AT I AKE PAY HIIRRAPD			A ELEVALIONS	
7 EDGE 7. Dd			EXIEKIOK	
Scale: Date:	No.:	3/16" MM/DD 190602	///	-0"
Scale:	d: 1:	MM/DD	///	-0"



PRICING & CONSTRUCTION GENERAL NOTES:

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CASE #SP2020-000

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	RESIDENTIAL RESTAURANTS	, i		ARCHITECTS		FAX : 972-249-2081
	MEDICAL COMMERCIAL		CHORCHES	MERSHAWN		COCKWALL, TEXAS 75087
L						ate Revision By
						No. Date
	PLUTUS 21	WATER'S EDGE AT LAKE RAY HUBBARD			EXTERIOR ELEVATIONS	
	Scale Date			3/16" MM/D		-0"
	Desi	ect N gned:		19060 GW	2	
┣	Draw Chec			GW WM		
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A7

















- '419' E
- within varieties.



VICINITY MAP N.T.S.

GENERAL LAWN NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.

- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM 2. BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM 3. OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES 5. COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- 6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- 7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

1

6.

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM 2. BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A 3. MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- 10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

1		1	
IMON NAME	BOTANICAL NAME	SIZE	REMARKS
e Myrtle 'Dallas Red' Oak	Lagerstroemia indica 'Dallas Red' Quercus virginiana	6' ht. 3" cal.	container, 3 or 5 trunks, 4' spread min.,tree form container, 13' ht., 5' spread, 5' clear straight trunk k
	DOTANICAL NAME	0.75	DEMADIZO
OMMON NAME	BOTANICAL NAME	SIZE	REMARKS
warf Yaupon Holly dian Hawthorn 'Clara' propetalum 'Ruby' eedlepoint Holly	Ilex vomitoria 'nana' Rhaphiolepis indica 'clara' Loropetalum chinensis 'Ruby' Ilex cornuta "Needlepoint'	5 gal. 5 gal. 5 gal. 5 gal.	container, 18" ht., 18" spread container, 20" ht., 20" spread container, 20" ht., 20" spread container , 24" ht., 20" spread
MMON NAME	BOTANICAL NAME	SIZE	REMARKS
9' Bermudagrass	Cynodon dactylon '419'		Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching



LANDSCAPE ARCHITEC STUDIO GREEN SPOT, INC. 1784 W. McDERMOTT DR. SUITE 110 ALLEN, TEXAS 75013 (469) 369-4448 CHRIS@STUDIOGREENSPOT.COM



PORTOFINO DRIVE ROCKWALL, TEXAS

HUBBARD

LAKE RAY

AT

EDGE

 \mathbf{S}

WATER'

FOR APPROVAL 11.21.2019

DATE: 11.21.2019

ISSUE:

SHEET NAME: LANDSCAPE PLAN

SHEET NUMBER:



Luminaire Schedule			
Symbol	Туре	Q	
+	W	12	

Manufacturer / Catalog Number

Calculation Summary		
Calculation Grid Location	Calc. Height (Ft.)	Units
GRADE_Planar	0	Fc
PARKING1		Fc
PARKING2		Fc

Note

I. Surface reflectances: Vertical/Horizontal - 50/20.

2. Calculation values are at height indicated in summary table.

- 3. Mounting heights are designated on drawing with "MH."
- 4. Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification. 5. Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
- 6. Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.

7. For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.



2019-12-10

Architectural Lighting Alliance 101 Turtle Creek Blvd. Dallas TX 75207 O 214-658-9000 | F 214-658-9002 www.alatx.com





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Chris Kehrer; Titan Contractors
CASE NUMBER:	Z2020-001; Zoning Change from Agricultural (AG) District to Single-Family (SF-1) District for 844 Zion Hill Circle

SUMMARY

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a <u>Zoning Change</u> from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

BACKGROUND

The City Council approved Ordinance No. 10-01, annexing the subject property on January 4, 2010. According to Rockwall Central Appraisal District (RCAD) records, the primary structure on the subject property was constructed in 1978, and has a 1,988 SF main living area, a 483 SF attached garage, and two (2) covered porches (*i.e. 240 SF & 160 SF*). On November 27, 2019, the applicant -- who is the contractor and not the property owner -- submitted a building permit proposing the construction of a ~4,812 SF accessory structure that consisted of a 1,620 SF carport, a 792 SF covered porch, and a 2,400 SF detached garage. During the permit review process, the applicant was informed that the size of the carport and detached garage would require a Specific Use Permit (SUP), unless the plans were revised to reduce the size of the carport to 500 SF or less and either [1] reduce the detached garage to 620 SF or less, or [2] attach the entire structure to the primary structure. In late January 2020, the applicant submitted revised plans proposing to remove the carport and add an eight (8) foot awning attaching the structure to the primary structure. On February 7, 2020, the Building Inspections Department issued a building permit based on the revised plans; however, later the same day a Building Inspector reported that the applicant had already constructed the majority of the building based on the plans that were provided with the original building permit (*i.e. a 2,400 SF detached garage* with a 1,620 SF carport), and a Stop Work Order was issued by the Building Inspections Department. It should be noted, that at the time the Stop Work Order was issued, the Building Inspector noted that the detached garage was built as a secondary guest quarters (*i.e. it incorporated air-conditioned space and plumbing*). Staff should also note that the property owner was unaware that a building permit had not been issued for the structure. Based on these events the Building Inspections Department issued three (3) citations to the contractor (*i.e. the applicant*) on the grounds of failure to comply with the construction standards.

Based on the events that transpired, the Planning and Zoning Department has recommended that the applicant adhere to the following chronological steps to request approval of the structure as it was built: [1] the property needs to be rezoned from an Agricultural (AG) District to a Single-Family One (SF-1) District, and [2] the property owner needs to request a Specific Use Permit (SUP) for a secondary living unit/guest quarters, and an enlarged carport and detached garage. Alternatively, the applicant can choose to redesign the structure to attach it to the primary structure. Regardless, of how this is remedied the applicant will be required to submit updated plans to the Building Inspections Department that reflect exactly what was and will be constructed on the property.

<u>PURPOSE</u>

On February 12, 2020, the applicant -- *Chris Kehrer* -- submitted an application requesting to change the zoning on the *subject property* from an Agricultural (AG) District to a Single-Family One (SF-1) District.
ADJACENT LAND USES AND ACCESS

The subject property is addressed as 844 Zion Hill Circle. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property are single-family homes located within the Zion Hills Subdivision followed by a vacant tract of land. These properties are zoned Agricultural (AG) District with the exception of two (2) of the properties, which are zoned Single Family 1 (SF-1) District. Beyond this is Cornelius Road, which is identified as an M4U (*major collector, four [4] lane, undivided roadway*) according to the City's Master Thoroughfare Plan. This roadway delineates the corporate limits of the City of Rockwall.
- <u>South</u>: Directly south of the subject property are single-family homes located within the Zion Hills Subdivision that are zoning Agricultural (AG) District. Beyond the single-family homes is SH-66, which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan.
- <u>East</u>: Directly east of the subject property is a single-family home located within the Zion Hills Subdivision followed by FM-3549 [i.e. *N. Stodghill Road*], which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. This roadway delineates the corporate boundaries of the City of Rockwall. All of these properties are zoned Agricultural (AG) District.
- <u>West</u>: Directly west of the subject property are single-family homes located within the Zion Hills Subdivision followed by two (2) landscaping businesses (*i.e. North Texas Lawns & Landscape and Landscape Source*) located along SH-66. These properties are zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting to rezone the subject property from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for the purpose of facilitating the ability to submit an application to request a Specific Use Permit (SUP) for a secondary living unit/guest quarters and an enlarged carport and detached garage. Currently, the Agricultural (AG) District does allow the *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* land use, but does not allow the *Residential Accessory Building or Structure* land use. The reason for this exclusion is to incentivize smaller properties (*i.e. properties less than ten [10] acres*) to rezone in accordance to the Future Land Use Plan.

INFRASTRUCTURE

The primary structure on the subject property was constructed with an on-site sanitary sewer facility (OSSF) and is served water by Mt. Zion Water Supply Corporation; therefore, the applicant's request does not require any infrastructure improvements.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Single-Family 1 (SF-1) District is the proper zoning classification for larger, single-family lots that are a minimum of one (1) acre in size ... (t)hese developments are typically in the City's hinterland, away from higher density residential developments and non-residential developments; however, they may be used in areas closer to the periphery of the City's developed areas, where they will serve as a logical transition to an estate or rural area." In this case, the Zion Hills Subdivision was annexed into the City in 2010 and consists of lots that are one (1) acre or greater. Staff should note that the majority of the properties in the Zion Hills Subdivision are still zoned Agricultural (AG) District; however, two (2) properties (*i.e. 825 & 853 Zion Hills Circle*) have been rezoned to Single-Family 1 (SF-1) District. If the applicant's zoning request is approved, the subject property will be required to conform to all of the requirements stipulated for a Single Family 1 (SF-1) District, and which are summarized as follows:

Development Standards	Single Family 1 (SF-1) District
Dwelling Units/Lot	1.0
Dwelling Units/Acre	1.0
Minimum Dwelling Unit	2,500 SF
Minimum Lot Area	8,400 SF
Minimum Lot Width	70-Feet

Minimum Lot Depth	100-Feet
Minimum Front Yard Setback	20-Feet
Minimum Rear Yard Setback	10-Feet
Minimum Side Yard Setback	6-Feet
Between Buildings	10-Feet
Building Height	36-Feet
Maximum Lot Coverage	45%
Required Parking Spaces	2

In addition, the applicant will be required to bring the accessory structure referenced in the *Background* section of this case memo into conformance.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the *Northeast Residential District* and is designated for *Low Density Residential (LDR)* land uses. The applicant's request, to change the zoning of the subject property from an Agricultural (AG) District to a Single Family 1 (SF-1) District, is in conformance with the *Low Density Residential (LDR)* designation. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "...(p)reserve the City's current residential to non-residential land use ratio (i.e. 80% Residential; 20% Commercial) in order to maintain a balance mix of land uses for fiscal sustainability ..." [*Section 02.01; CH. 1; Page 1-1*]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential land use balance. Currently, the land use balance is at 75.90% residential to 24.10% non-residential. Since this request is in conformance with the *Land Use Plan*, the land use ratio will remain unchanged if approved.

NOTIFICATIONS

On February 28, 2020, staff notified 33 property owners and occupants within 500-feet of the subject property. Additionally, there are no Homeowners Association's (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the HOA/Neighborhood Notification Program. At the time this report was written, staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from Agricultural (AG) District to Single-Family One (SF-1) District, then staff would propose the following conditions of approval:

- (1) The applicant will be required to request a Specific Use Permit (SUP) for or remove the illegal structure from the property to bring it into compliance with the construction standards required by the City's codes.; and
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

	DEVELOPMENT APPLICA City of Rockwall Planning and Zoning Departmen 385 S. Goliad Street Rockwall, Texas 75087	t	STAFF USE ONLY PLANNING & ZONING CASE NO. 72020-00 <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]: Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acre) 1 [] Preliminary Plat (\$200.00 + \$15.00 Acre) 1 [] Final Plat (\$300.00 + \$20.00 Acre) 1 [] Replat (\$300.00 + \$20.00 Acre) 1 [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) 1 [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00)			
Address Subdivision	RMATION [PLEASE PRINT] 844 Zion Hill Circle Zion Hill Near Hwy 66; CR 35		Lot 8 Block B
ZONING, SITE PLA	AN AND PLATTING INFORMATION [PLEAS	E PRINT]	
Current Zoning	Agricultural	Currer	nt Use Residential Private
Proposed Zoning	SF-1	Propose	ed Use Residential Private
Acreage	Lots [Current]		Lots [Proposed]
[] <u>SITE PLANS AND P</u>	LATS: By checking this box you acknowledge that due to	the passage o	of <u>HB3167</u> the City no longer has flexibility with regard to its approval
	to address any of staff's comments by the date provided of		
	NT/AGENT INFORMATION [PLEASE PRINT/C	/	
	David Choate		licant Titan Contractors
Contact Person	Chris Kehrer	Contact Pe	Chiris peri
Address	844 Zion Hill Circle	Ade	dress 410 Normandy LN
Phone •	Reckwall, TX 75087 214-869-3318 Alertdrained Yahue. com	Р	& Zip Heath, TX 75032 Phone 214-900-2517 -Mail Chrisd Titan contractors. Net
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared David Churche [Owner] the undersigned, who stated the information on this application to be true and certified the following:			
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $\frac{215}{215}$, to cover the cost of this application, has been paid to the City of Rockwall on this the 12 day of 52.00 . By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."			
			C. Notary Public, State of Texas Comm. Expires 11-10-2021
	Owner's Signature	OBX	Notary ID 131347586
Notary Public in an	d for the State of Texas	AL	My Commission Expires // - 10 - 21
DEVELOPMEN	TAPPLICATION CITY OF ROCKWALL . 385 SOUTH GOLD	STREET . RO	CKWALL, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7727





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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Case Number:Z2020-001Case Name:Zoning Change AG to SF-1Case Type:ZoningZoning:AGCase Address:844 Zion Hill Circle



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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Subject Property

W HOLIDAY DR

BEN PAYNE RD



Case Number: Z2020-001 Zoning Change AG to SF-1 **Case Name:** Case Type: Zoning AG Zoning: Case Address: 844 Zion Hill Circle



Vicinity Map

CORNELIUS RD

Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745

CURRENT RESIDENT CORNELIUS ROCKWALL, TX 75087

CURRENT RESIDENT ZION HILLS ROCKWALL, TX 75087

WEYGANDT DIANE M AND MEGAN WOOD 1424 N FM 3549 STODGHILL ROAD ROCKWALL, TX 75087

> CURRENT RESIDENT 2185 WILLIAMS ROCKWALL, TX 75087

> CITY OF ROCKWALL 385 S GOLIAD ST ROCKWALL, TX 75087

ROCKWALL BIBLE CHURCH 801 ZION HILL CIR ROCKWALL, TX 75087

LE THAO THI PHUONG HONG 813 ZION HILL CIR ROCKWALL, TX 75087

MILLER CHARLES E & BETTY M 821 ZION HILL CIR ROCKWALL, TX 75087

HOLCOMB FRED G & CAROL 841 7ION HILL CIR ROCKWALL, TX 75087

BROWN DAVID C & LINDA K 852 ZION HILL CIR ROCKWALL, TX 75087

CURRENT RESIDENT HWY66 ROCKWALL, TX 75087

CURRENT RESIDENT 1398 FM3549 STODGHILL ROCKWALL, TX 75087

BROWN JEFFREY C & LISA 1452 FM 3549 STODGHILL RD ROCKWALL, TX 75087

> CURRENT RESIDENT 2860 HWY66 ROCKWALL, TX 75087

KEMP MARY CAYCE ERSKINE WILLIAMS 4501 EDMONDSON AVE DALLAS, TX 75205

WHITE CHRISTOPHER AND CLAUDIA 804 ZION HILL CIR ROCKWALL, TX 75087

> CODY OLIVIA L & STEPHEN H 817 ZION HILL CIR ROCKWALL, TX 75087

CURRENT RESIDENT 825 ZION HILL ROCKWALL, TX 75087

CHOATE DAVID E ET UX 844 ZION HILL CIR ROCKWALL, TX 75087

CURRENT RESIDENT 853 ZION HILL ROCKWALL, TX 75087

CURRENT RESIDENT ZION HILL ROCKWALL, TX 75087

CURRENT RESIDENT 1424 FM3549 STODGHILL ROCKWALL, TX 75087

VECELLIO FRANCIS 1470 S JOHN KING BLVD #3210 ROCKWALL, TX 75032

TA LAND HOLDINGS LLC 2897 STATE HIGHWAY 66 ROCKWALL, TX 75087

LAKE RAY HUBBARD BIBLE CHURCH INC 801 ZION HILL CIR ROCKWALL, TX 75087

KIRK JEREMY C AND STEPHANIE A 812 ZION HILL CIR ROCKWALL, TX 75087

FITZPATRICK ORAL L & BARBARA 820 ZION HILL CIR ROCKWALL, TX 75087

MURPHY ROCKY SR & DEBRA J 837 ZION HILL CIR ROCKWALL, TX 75087

AKARD DANNY AND CATHY 845 ZION HILL CIR ROCKWALL, TX 75087

> WOODY JESSYE JEAN PO BOX 315 FATE, TX 75132

WOODY JESSYE JEAN PO BOX 315 FATE, TX 75132 LAKE RAY HUBBARD CHURCH PO BOX 698 ROCKWALL, TX 75087 HARLE REUBIN E PO BOX 912 ROCKWALL, TX 75087



To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-001: 844 ZION HILL CIRCLE

EMAIL: PLANNING@ROCKWALL.COM

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday**, **3/10/2020** at **6:00 p.m.**, and the City Council will hold a public hearing on **Monday**, **3/16/2020** at **6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

PLEASE RETURN THE BELOW FORM

Case No. Z2020-001: 844 ZION HILL CIRCLE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:	
Address:	

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





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The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

Bob D. Brown Land Surveyor 302 ... sk Rockwall, Texas 75087 1 2 SCALE: 3.0 Hockwall 722-3036 Dallas 226-7522 DATE: 3-10-79 NF Registered Public Surveyor RE-SURVEY: CHECKED DRAWN Nº 13 C SU 111

FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



SURROUNDING NEIGHBORS





SURROUNDING NEIGHBORS



The purpose of the zoning application is to accommodate the attached garage with the desired layout that will allow for a large covered area. Mr. Choate is an avid fisherman and outdoorsman in his free time and will retire in the next 5 years. This area is where he will spend most of his free time. Mr. Choate has one boat, one car, two trucks and one small trailer. They will all be stored in the garage area along with his lawn equipment, tool boxes and miscellaneous personal power tools. This is for private use and he will store personal belongings inside as well. Many homes in the area have multiple storage buildings scattered around. Our goal was to create a nice area where everything is contained inside one building and add value to the existing property.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF **ROCKWALL.** TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO A SINGLE-FAMILY 1 (SF-1) DISTRICT FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, **ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL** CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE: PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Chris Kehrer of Titan Contractors on behalf of the owner David Choate for a change in zoning from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle and more fully depicted in *Exhibit 'A'* of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [*Ordinance No. 20-02*] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, Texas, as heretofore amended, be and the same is hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from an Agricultural (AG) District to a Single-Family 1 (SF-1) District.

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a *Single-Family 1 (SF-1) District* as stipulated in Subsection 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future.

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the zoning described herein.

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable.

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF APRIL, 2020.

ATTEST: Kristy Cole, <i>City Secretary</i> APPROVED AS TO FORM: Frank J. Garza, <i>City Attorney</i>	
Kristy Cole, <i>City Secretary</i> APPROVED AS TO FORM:	Jim Pruitt, Mayor
APPROVED AS TO FORM:	
Frank J. Garza, <i>City Attorney</i>	
1 st Reading: <u><i>March 16, 2020</i></u>	
2 nd Reading: <u>April 6, 2020</u>	
Z2020-001: Zoning Change (AG to SF-1) Page 2 City of Rockwall,	Page 2 City of Rockwall, Texas

Exhibit 'A' Zoning Exhibit

<u>Address:</u> 844 Zion Hill Circle <u>Legal Description:</u> Lot 8, Block B, Zion Hill Addition



Z2020-001: Zoning Change (AG to SF-1) Ordinance No. 20-XX; Page | 3

City of Rockwall, Texas

Exhibit 'B' Survey

SURVEY PLAT	
TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:-	
This is to contify that I have, this date, made a careful and accurate survey on the ground of part	
lion Hills Fircle in the Ony of nrty of, being described	
as follows:	
Lot No	
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212.64 e essure	
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COUNTY ROAD	
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212.64 J 8 10 14 1 9 10 14 10 10	
Z ZION HILLS CIRCLE	
	01
The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and The plat hereon is a true, correct, and accurate representation of the size location, and type of buildings and improvements	0
dimensions of said property being as indicated by the plant, the property, set back from property lines the distances	\$ 0
are as shown, all improvements being within the doundaries of the or road, is as shown on said plat. indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.	50
THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN	Z
THERE ARE NO ENGLISHING	
Bob D. Brown Land Surveyor	
SCALE: SV Rockwall, Texas 75087	
Sa the property 1. 15 recen	
11 15 Barrier Carl	
C SU ST	
018-031: Zoning Change (AG to SF-1) Page 4	City of Rockwall, Texas
018-031: Zoning Change (AG to SF-1) Page 4	



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Reese Baez
CASE NUMBER:	Z2020-002; Specific Use Permit (SUP) for a Residential Infill for 702 Parks Avenue

SUMMARY

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

BACKGROUND

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [*are*] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [*1983*] from which this [*the*] Unified Development Code is derived which has not been divided [*or assembled*] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

<u>PURPOSE</u>

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a singlefamily home on Lot 8 (*i.e. 702 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-003*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 610 Parks Avenue*).

ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is 704 Parks Avenue (*i.e. Lot 9, Block D, Foree Addition*). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e. Pecan Grove, Stark, & Wade*). All of these areas are zoned Single-Family 7 (SF-7) District.
- South: Directly south of the subject property is 610 Parks Avenue (*i.e. Lot 7, Block D, Foree Addition*). South of this are three (3) residential homes followed by Lillian Street, which is designated as a *R2 (residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (*e.g. F&M, Kathleen's and Crawford, Autumn*). All of these areas are zoned Single-Family 7 (SF-7) District.

- *East.* Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (*i.e. Rockwall Assembly of God*). All of these properties are zoned Single-Family 7 (SF-7) District.
- <u>West</u>: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	Two (2) Stories (<i>i.e. ~27-feet at the Midpoint of Rool</i>)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	N/A
Building SF on Property	1,264 SF – 3,912 SF	3,450 SF
Building Architecture	Various [Minimal Traditional, Tudor, Ranch, etc.]	Comparable Architecture
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard and Stone
Paint and Color	Pink, Yellow, White, and Tan	White (with Black Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

Staff should note that the proposed single-family meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the

properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) emails in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

DEVELOPMENT APPLICATION

City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087

STAFF USE ONLY -

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate th	he type of development request [SELECT ONLY ONE BOX]:
Platting Application Fees: [] Master Plat (\$100.00 + \$15.00 Acre) ¹ [] Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ [] Final Plat (\$300.00 + \$20.00 Acre) ¹ [] Replat (\$300.00 + \$20.00 Acre) ¹ [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) ¹ [] Amended Site Plan/Elevations/Landscaping Plan (\$	Zoning Application Fees: [] Zoning Change (\$200.00 + \$15.00 Acre) ¹ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) ¹ Other Application Fees: [] Tree Removal (\$75.00) [] Variance Request (\$100.00) Notes: ¹ : In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.
PROPERTY INFORMATION [PLEASE PRINT] Address 702 PANS AVE Subdivision Forces Addution	WWW MU. TX 75087
Address 10 L ALPS 100	V112 Pa 568 14 8 Plat D
Subdivision Tores Hadritin	Lot & Block
General Location Pars Ave	
ZONING, SITE PLAN AND PLATTING INFORM	
Current Zoning fly dentral	SF-7 Current Use PlSidential
Proposed Zoning NIA	SF-7 Current Use <i>PlSidential</i> Proposed Use <i>flSidential</i>
Acreage 0.16	Lots [Current] Lots [Proposed] 0.16
	wledge that due to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its approva
	the date provided on the Development Calendar will result in the denial of your case.
	N [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]
[] Owner	Contact Person 1025. Goliad St #108
Contact Person	Address
Address	Aduress
City, State 9 Zin	City State & The PACKIMALL THE TENST
City, State & Zip	City, State & Zip FOCKVALL TS 75087
Phone	E-Mail Chacz Otritongc. Com
E-Mail	E-Main / VAC 2 @ TTTT go. com
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally ap this application to be true and certified the following:	peared [Owner] the undersigned, who stated the information o
cover the cost of this application, has been paid to the City of Ro that the City of Rockwall (i.e. "City") is authorized and permitte permitted to reproduce any copyrighted information submitted information."	ication; all information submitted herein is true and correct; and the application fee of \$215.00, to ckwall on this the day of 215.00 , to application is application, I agree to provide information contained within this application to the public. The City is also authorized and in conjunction with this application, if such reproduction is associated or in response to a request for public.
Given under my hand and seal of office on this the \square d	ay of FEBLUARY, 20 20. MEGAN MURPHY
Owner's Signature	Comm. Expires 05-10-2020
Notary Public in and for the State of Texas	My Commission Expires
DEVELOPMENT APPLICATION	* 185 UTH GOLIND STREET * ROCKWALL TX 75087 * [P] (972) 771-7745 * [P] (972) 771-7727





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Departme 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-002Case Name:SUP for 702 Parks AveCase Type:Specific Use PermitZoning:SF-7Case Address:702 Parks Ave.



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745

Gamez, Angelica

From:	Gamez, Angelica
Sent:	Friday, February 28, 2020 10:30 AM
Subject:	Neighborhood Notification program
Attachments:	PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner *February 28, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 10, 2020 at 6:00 p.m.*, and the City Council will hold a public hearing on *Monday, March 16, 2020 at 6:00 p.m.*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at https://sites.google.com/site/rockwallplanning/development-cases.

Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <u>http://www.rockwall.com/planning/hoa.asp</u>.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator City of Rockwall 972.771.7745 Office 972.772.6438 Direct http://www.rockwall.com/planning/

City of Rockwall The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor Planning & Zoning Department provide timely and accurate information, we make no to 385 S. Goliad Street guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a Rockwall, Texas 75087 particular purpose. Use of the information is the sole responsibility of (P): (972) 771-7745 the user. (W): www.rockwall.com **Feet** MILLE **200** HEATH AUSTIN PARKS CLARK NASH CORNELIA

Case Number:Z2020-002Case Name:SUP for 702 Parks Ave.Case Type:Specific Use PermitZoning:SF-7Case Address:702 Parks Ave.

🗾 Subject Property 👩

Notified Parcels

500' Buffer

Legend

LILLIAN



WILLIAMS

Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745 CURRENT RESIDENT EHEATH ROCKWALL, TX 75087

SILVA MANUEL 1041 E FM 552 ROCKWALL, TX 75087

SABRSULA MELISSA 1571 ANNA CADR RD ROCKWALL, TX 75087

RIJU LTD PARTNERSHIP A TEXAS LTD PARTNERSHIP 210 GLENN AVE ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS 2140 AIRPORT RD ROCKWALL, TX 75087

> GLASS JERRY R 301 MEADOWDALE DR ROCKWALL, TX 75087

CURRENT RESIDENT 403EHEATH ROCKWALL, TX 75087

KIRKPATRICK DAVID S & RHONDA D 500 E HEATH ST ROCKWALL, TX 75087

> BARNETT GEORGE S 502 CORNELIA ST ROCKWALL, TX 75087

> CURRENT RESIDENT 503 LILLIAN ROCKWALL, TX 75087

ROLAND RANDY C AND ANDREA B 101 JOE WHITE ST ROCKWALL, TX 75087

> CURRENT RESIDENT 105 JOE WHITE ROCKWALL, TX 75087

KENNEDY HAYLEY 201 CHAMPION DR WYLIE, TX 75095

HARRIS RICHARD D & JUDY A 210 GLENN AVE ROCKWALL, TX 75087

> PARK ALLEN 2301 LAFAYETTE DR HEATH, TX 75032

ZYLKA JOE AND BONNIE 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032

CURRENT RESIDENT 405EHEATH ROCKWALL, TX 75087

HOLZHEIMER THOMAS R AND NICOLE M 501 CORNELIA ST ROCKWALL, TX 75087

> MCINTIRE J M & ERLINDA 502 E HEATH ST ROCKWALL, TX 75087

CURRENT RESIDENT 504 CORNELIA ROCKWALL, TX 75087 CURRENT RESIDENT 103 JOE WHITE ROCKWALL, TX 75087

BREWER SHERI RENEE 119 SUNRISE VISTA WAY PONTE VEDRA, FL 32081

RIPSTOP PROPERTIES LLC 205 S CLARK STREET ROCKWALL, TX 75087

REDDEN POLLY PEOPLES 213 SOVEREIGN CT ROCKWALL, TX 75032

KAUFMANN EVAN J 2312 BAHAMA RD AUSTIN, TX 78733

VANHORN PENNI AND JOE ZYLKA AND BONNIE ZYLKA 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032

> HODGES PATRICK L 481 ARCADIA WAY ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN 501 LILLIAN ST ROCKWALL, TX 75087

> CURRENT RESIDENT 503 CORNELIA ROCKWALL, TX 75087

> TANTON MELVIN V JR 504 E HEATH ST ROCKWALL, TX 75087

EIMER THOMAS R AND NIC

DADY ALLEN

CURRENT RESIDENT

ALSOBROOK HAROLD DAVID JR **505 CARRIAGE TRAIL** ROCKWALL, TX 75087

> DAVIS JUDY 505 NASH ST ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE 506 LILLIAN ST ROCKWALL, TX 75087

> **TOLMAN BROOKS** 507 PARKS AVE ROCKWALL, TX 75087

> DOROTIK DAVID W **509 PARKS AVE** ROCKWALL, TX 75087

> CURRENT RESIDENT 510 PARKS ROCKWALL, TX 75087

DENNIS KIMBERLY 513 E HEATH ST ROCKWALL, TX 75087

CURRENT RESIDENT 601EHEATH ROCKWALL, TX 75087

SUTTON JUDITH A 603 E HEATH ST ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA 605 NASH ST ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN 505 CORNELIA ROCKWALL, TX 75087

> CURRENT RESIDENT 505EHEATH ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT 506 NASH ROCKWALL, TX 75087

> CAWTHON RICK 508 NASH ST ROCKWALL, TX 75087

CURRENT RESIDENT 509EHEATH ROCKWALL, TX 75087

511EHEATH ROCKWALL, TX 75087

TROWBRIDGE PATRICK A & ELIZABETH 601 PARKS AVE ROCKWALL, TX 75087

> **602 NASH STREET** ROCKWALL, TX 75087

> HOWARD DEBORAH K 604 NASH ST ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM 605 PARKS AVE ROCKWALL, TX 75087

BARRON GILDARDO 505 LILLIAN ST ROCKWALL, TX 75087

CURRENT RESIDENT 506 CORNELIA ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE 507 NASH ST ROCKWALL, TX 75087

> FREEMAN WILLIAM B JR **508 PARKS AVE** ROCKWALL, TX 75087

RICHARDSON PATRICE 510 COVE RIDGE RD HEATH, TX 75032

COATS LOIS LOUISE 512 E HEATH ST ROCKWALL, TX 75087

STEGALL VENTURES LLC 601 SUNSET HILL DRIVE ROCKWALL, TX 75087

LEAL ROLAND & CAROL **602 PARKS AVENUE** ROCKWALL, TX 75087

FUQUA MATTHEW 604 PARKS AVE ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD 605 STORRS ROCKWALL, TX 75087

SIMMONS APRIL R

CURRENT RESIDENT

CURRENT RESIDENT 605EHEATH ROCKWALL, TX 75087

WALLS JEFFREY V & NATALIE ANN 606 PARKS AVE ROCKWALL, TX 75087

> **STARK ROBERT S & TINA J** 607 SAINT MARY ST ROCKWALL, TX 75087

CURRENT RESIDENT 610 NASH ROCKWALL, TX 75087

CURRENT RESIDENT 701 NASH ROCKWALL, TX 75087

CURRENT RESIDENT **702 PARKS** ROCKWALL, TX 75087

FRASIER MICHAEL & MARY GRACE 704 JACKSON ST ROCKWALL, TX 75087

> **RUSHING BRIAN AND** CHANEL KENTOPP 705 NASH ST ROCKWALL, TX 75087

> CURRENT RESIDENT 707 NASH ROCKWALL, TX 75087

KOLWINSKA GERALDINE D 708 PARKS AVE ROCKWALL, TX 75087

DANIEL RODNEY 606 AUSTIN ST ROCKWALL, TX 75087

SPERLING SANDY 607 E HEATH ST ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA 608 NASH ST ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H 6634 DAVIS DR ROYSE CITY, TX 75189

CASTILLO AGAPITO & ESTELA 701 PARKS AVE ROCKWALL, TX 75087

703 NASH STREET

704 KERNODLE ST ROCKWALL, TX 75087

ARELLANO JESUS L & CYNTHIA A HERRERA 706 NASH ST ROCKWALL, TX 75087

CURRENT RESIDENT 707 PARKS ROCKWALL, TX 75087

CURRENT RESIDENT 709 NASH ROCKWALL, TX 75087

GALASSI TORI D 606 NASH ST ROCKWALL, TX 75087

BHATIA SACHIT S AND LAURA NICOLE JONES 607 NASH STREET ROCKWALL, TX 75087

TORRES ROSIE 609 NASH ST ROCKWALL, TX 75087

CASTRO RENE & BETSY 700 WINDSONG LN ROCKWALL, TX 75032

TEMPLETON LORRAINE BIEGLER 702 NASH ST ROCKWALL, TX 75087

> HANSON BRANDON R 703 PARKS AVE ROCKWALL, TX 75087

CURRENT RESIDENT 704 NASH ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN 706 PARKS AVE ROCKWALL, TX 75087

> CURRENT RESIDENT 708 NASH ROCKWALL, TX 75087

> **BARRON ARMANDO** 709 PARKS AVE ROCKWALL, TX 75087

ROCKWALL, TX 75087

THOMAS TRACY

ELLISTON REBECCA S

STARK ROBERT C 710 AGAPE ST ROCKWALL, TX 75087

PALMER LINDA C 714 PARKS AVE ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA 802 E HEATH ST ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS 804 E HEATH ST ROCKWALL, TX 75087

> CURRENT RESIDENT 806 NASH ROCKWALL, TX 75087

> JENNINGS AMANDA L 811 AUSTIN ST ROCKWALL, TX 75087

> CURRENT RESIDENT 901 WILLIAMS ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE RICHARD D WIMPEE AND JUDY A HARRIS AND JOE E WIMPEE AND JERRY M WIMPEE 704 E MAPLE ST FAYETTEVILLE, AR 72701

> AWAJA PROPERTIES LLC PO BOX 811 ROYSE CITY, TX 75189

KING MISTY 710 NASH STREET ROCKWALL, TX 75087

CURRENT RESIDENT 801 AUSTIN ROCKWALL, TX 75087

CURRENT RESIDENT 802 NASH ROCKWALL, TX 75087

CURRENT RESIDENT 804 NASH ROCKWALL, TX 75087

CURRENT RESIDENT 808 AUSTIN ROCKWALL, TX 75087

MCCLAIN LOUETTA 8309 TURNBERRY ST ROWLETT, TX 75089

BIRT PAUL G & CHRISTI ANA 908 NORTH FANNIN STREET ROCKWALL, TX 75087

> KINDRED ROBERT M P.O. BOX 261638 PLANO, TX 75026

NIXON ALBERT 711 PARKS AVE ROCKWALL, TX 75087

CURRENT RESIDENT 801EHEATH ROCKWALL, TX 75087

CURRENT RESIDENT 803 AUSTIN ROCKWALL, TX 75087

AUSTIN TRENTON C 806 AUSTIN ST ROCKWALL, TX 75087

CURRENT RESIDENT 809 AUSTIN ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C 880 IVY LN ROCKWALL, TX 75087

> BELANGER CORKY 921 N ALAMO RD ROCKWALL, TX 75087

ROCKWALL ASSEMBLY OF GOD C/O DAVID SPIEGEL PO BOX 33 ROCKWALL, TX 75087



To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-002: 702 Parks Avenue

EMAIL: PLANNING@ROCKWALL.COM

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday**, **3/10/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday**, **3/16/2020 at 6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- - PLEASE RETURN THE BELOW FORM

Case No. Z2020-002: 702 Parks Avenue

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:		
Address:		

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



SITE PLAN SCALE: 1/8" = 1' - 0"

GENERAL NOTES

- 1. THIS SET OF CONSTRUCTION PLANS IS INTENDED TO PROVIDE THE NECESSARY INFORMATION TO COMPLETE THE CONSTRUCTION OF THIS PROJECT. 2. ALL NECESSARY PERMITS, INSPECTIONS, AND CERTIFICATES OF APPROVAL SHALL BE PAID FOR
- BY EITHER THE GENERAL CONTRACTOR OR THE HOME OWNER. 3. ALL BUILDING CODES (NATIONAL, STATE, AND LOCAL) ARE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE - LATEST EDITION. THE BUILDING CODES TO SUPERSEDE ANY NOTES OR SPEC'S ON THESE PLANS. ALL SUBCONTRACTORS ARE RESPONSIBLE FOR APPLYING TO THEIR **RESPECTIVE CODES.**
- 4. ALL JOBSITE CHANGES AND DECISIONS ARE THE RESPONSIBILITY OF THE GENERAL
- CONTRACTOR. 5. FIELD VERIFICATIONS FOR ALL MEASUREMENTS ARE TO BE DONE BY EACH SUBCONTRACTOR IN RELATION TO THEIR TRADE FOR VERIFICATION OF MEASUREMENTS, DIMENSIONS, AND EXISTING CONDITIONS.
- 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY AND CHECK THE PLANS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES, ERRORS, OR OMISSIONS FOUND WITHIN THE PLANS ARE TO BE BROUGHT TO THE ATTENTION OF LATIMER DESIGNS, INC. PRIOR TO ANY WORK BEING DONE
- 7. THE GENERAL CONTRACTOR SHALL PROVIDE NECESSARY ENERGY CALCULATIONS TO COMPLY WITH LOCAL ENERGY CODES.
- 8. ALL DIMENSIONS ARE FOR ROUGH FRAMING. ALL STUD WALLS ARE DIMENSIONED AT 4" NOMINAL, BRICK LEDGES AT 5.5" NOMINAL, METAL SIDING LEDGES AT 1.5" NOMINAL, AND THIN WALLS AT 2" NOMINAL. 9. ALL DIMENSIONS ARE TO BE FIELD VERIFIED.
- 10. FOUNDATION PLAN, ROOF PLAN, AND FLOOR FRAMING PLANS ARE SCHEMATIC ONLY. REFER TO STRUCTURAL ENGINEER'S DRAWINGS FOR NOTES AND SPEC'S. (IF REQUIRED, TO BE PROVIDED BY GENERAL CONTRACTOR).
- 11. ALL EXTERIOR WINDOW AND DOOR INSTALLATIONS TO BE IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS.
- 12. ALL CARPENTRY WORK SHALL BE ERECTED PLUMB AND TRUE, FOLLOWING BEST PRACTICES OF THE TRADE. TRIM WORK SHALL BE NEATLY CUT AND FIT.
- 13. ALL LUMBER SHALL BE S4S UNO
- 14. FRAMER TO PROVIDE BACKING FOR ALL APPROPRIATE FINISH MATERIALS. 15. GENERAL CONTRACTOR AND PRODUCT SUPPLIER ARE RESPONSIBLE FOR ALL SAFETY GLASS WHERE REQUIRED BY CODE.
- 16. ALL SHOWER DOORS TO BE CHOSEN BY HOME OWNER.
- 17. ALL OF THE FOLLOWING APPLIANCES TO BE CHOSEN BY THE HOME OWNER: REFRIGERATOR, RANGE, EXHAUST HOOD, MICROWAVE, GARBAGE DISPOSAL, DISHWASHER, WASHER & DRYER. 18. PLUMBER TO PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE PLUMBING SYSTEM. INCLUDING ALL HOT AND COLD WATER DISTRIBUTION AND ALL NECESSARY WASTE SYSTEMS.
- 19. PLUMBER TO PROVIDE A COLD WATER LINE TO THE REFRIGERATOR & FREEZER. 20. THE HVAC CONTRACTOR SHALL PROVIDE A LAYOUT SHOWING DUCT AND VENT LOCATION, AS WELL AS EQUIPMENT SPEC'S. THE HEATING SYSTEM SHALL BE INSTALLED TO ALL CODE **REQUIREMENTS.**
- 21. CONTRACTOR TO VERIFY HOUSE/SLAB LOCATION WITH OWNER PRIOR TO CONSTRUCTION.

ABBREVIATIONS

AB	ANCHOR BOLT
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
BLDG	BUILDING
BLK	BLOCK
BM	BEAM
CAB	CABINET
CLG	CEILING
CLR	CLEAR
CONC	CONCRETE
DBL	DOUBLE
DIA	DIAMETER
DN	DOWN
DWG	DRAWING
EA	EACH
EQ	EQUAL

FD	FLOOR DRAIN
FDN	FOUNDATION
FF	FINISH FLOOR
FLR	FLOOR
FT	FEET
FTG	FOOTING
GL	GLASS
н	HIGH
LC	LAUNDRY CHUTE
LG	LONG
ML	MICROLAM
MTL	METAL
OC	ON CENTER
PT	PRESSURE TREATED
PTB	PARTICLE BOARD

R	RADIUS
R&S	ROD & SHELF
SH	SHELF(S)
SHWR	SHOWER
SIM	SIMILAR
SQ	SQUARE
STL	STEEL
TBD	TO BE DETERMINED
TOJ	TOP OF JOIST
TOS	TOP OF SLAB
TR	TRANSOM
TYP	TYPICAL
UNO	UNLESS NOTED
	OTHERWISE
V	VERTICAL
WD	WOOD

DRAWING INDEX

	-
A - 1.01	COVER SHEET
A - 1.02	FRONT & LEFT ELEVATION
A - 1.03	BACK & RIGHT ELEVATION
A - 1.04	FLOOR PLAN
A - 1.05	FOUNDATION/PLUMBING PLAN
A - 1.06	ROOF PLAN
A - 1.07	ELECTRICAL PLAN

SQUARE FOOTAGE

LIVING SPACE	2660
GARAGE	500
FRONT PORCH	290
BACK PORCH	186

BUILDING DEVELOPEMENT

OWNER	AMANDA HENRY
	972.896.1539
	mhenrytx@me.com
GENERAL CONTRACTOR	TRITON GENERAL CONTRACTING
	REESE BAEZ
	214.738.8752
	RBAEZ@TRITONGC.COM
DESIGN FIRM	LATIMER DESIGNS INC.
	LEE ANN LATIMER
	903.268.1167
	LATIMERDESIGNGROUP@GMAIL.COM

PROPERTY DESCRIPTION 72020 002

CASE #	Z2020-002
LOCATION	702 PARKS AVE. ROCKWALL, TX 75087 BLK D - LT 8
NEIGHBORHOOD	N3600-3-19
PROPERTY ID	16619
LEGAL DESCRIPTION	FOREE, BLOCK D, LOT 7,8,9
ZONING	SF3
GEOGRAPHIC ID	3710-000D-0008-00-0R






LEFT ELEVATION SCALE: 1/4" = 1' - 0"









	CHE DAT ISSU ISSU CON		BY: DR PI DR CTIO			Image: Second	
	PROJECT/CLIENT:	Z2(AS 020	6 # 702 PARKS AVE.•ROCKWALL•TX•75087	2	06.06.2019	
	E	sн LE		TITLE		5	
SHEET NO.: A - 1.03							

8' PLATE HT.



APPROXIMATE GROUND LINE

3' STONE SILL





TILE

ALL DOORS, CASED OPENINGS, & WINDOWS TO HAVE TRIMMED CASEMENT

01 A1.03

GENERAL NOTES

- ALL BEAM SIZES TO BE VERIFIED BY STRUCTURAL ENGINEER. WINDOW EXAMPLE: 2850. 2'-8" WIDE BY 5'-0" TALL. DOOR EXAMPLE: 3080. 3'-0" WIDE BY 8'-0" TALL. DOOR & WINDOW SIZES ARE GIVEN IN INCHES II WIDTH & HEIGHT RESPECTIVELY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CLEARANCES OF THE ITEMS MENTIONED ABOVE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY ALL INTERIOR FINISHES, FLOOR COVERINGS, & TRIM SIZES & CONFIGURATIONS WITH OWNER PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY ALL DIMENSIONS & EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR WALL FINISHES. REFER TO MANUFACTURERS SPECS FOR ROUGH OPENING DIMENSIONS, FOR DOORS & WINDOWS. CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS DURING CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL
- CONSTRUCTION PROCESS TO COMPLY WITH I.R.C. (INTERNATIONAL RESIDENTIAL CODE), LATEST EDITION, OR APPLICABLE CODES AT SITE. 9. CEILING AS NOTED ON DRAWING. 10. FRAMED WALLS TO BE 2X4 STUDS @16"O.C.
- 11. CONTRACTOR TO ADD FLOORING FOR ATTIC SPACE.
- CONTRACTOR TO LOCATE HVAC UNITS & WATER HEATER TANK UNIT
 ALL CABINET DIMENSIONS TO BE VERIFIED ON SITE BY GENERAL CONTRACTOR, PRIOR TO ORDERING OR BUILDING OF CABINETS.
- ALL CABINET FINISHES & HARDWARE TO BE SELECTED BY OWNER.
 ALL FINISHED, DESIGN DETAILS (I.E.: MILLWORK, FIREPLACE
- STYLE,ETC.), & APPLIANCES TO BE SELECTED BY OWNER. 16. CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR ALL BATHROOMS
- 6. CONTRACTOR TO INSTALL BLOCKING IN WALLS FOR A FOR FURTHER GRAB BARS.

TIMER	T SINGLY			903.268.1167 atimerdesigngroup@gmail.com				
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DRAWN BY								
DATE:		ERMIT	:					
ISSUED FO CONSTRUC	СТІО	N:						
PROJECT/CLIENT: MANDY HENRY	LOCATION:	702 PARKS AVE. • ROCKWALL • TX • 75087	DATE:	06.06.2019				
CASE #: Z2020-002								
	SHEET TITLE: FLOOR PLAN							
sheet no.: A - 1.04								

















DESIG ROCKWALL, T 903.268.1167 latimerdesignę DRAWN BY: CHECKED BY: DATE: **ISSUED FOR PERMIT:** ISSUED FOR CONSTRUCTION: **REVISIONS:** 75087 • ¥ ROCKWALL AVE. ROJECT/CLIENT: PARKS 2019 02 0 CASE #: Z2020-002 SHEET TITLE: ELECTRICAL PLAN SHEET NO .: A - 1.07

ELECTRICAL LEGEND

ELECTRICAL	SYM.
CABLE TV OUTLETS	Τν
TELEPHONE	T
UNDER MOUNT LIGHTS	[]
DOUBLE SPOTLIGHT	
LIGHT FIXTURE	
RECESSED CAN LIGHT (VERIFY LOCT.W/OWNER)	R
ELECT.& MOUNT KIT FOR FUTURE FAN	\bigcirc
CEILING FAN W/LIGHT	×
CEILING FAN W/OUT LIGHT	
EXHAUST FAN W/O LIGHT	
WATERPROOF OUTLET	WP
EXTERIOR OUTLET@EAVE	E
110 VOLT OUTLET	
220 VOLT OUTLET	
GROUND FAULT PROTECTED OUTLET	GFI
FLOOR OUTLET W/AV	φ _F
SWITCH	\$
SWITCH - 3 WAY	\$3
SWITCH - DIMMER	SDM
SMOKE & CO DETECTOR	SD OD

KEYED NOTES

- 1 OUTLET & TV AT MANTEL
- 2 **OUTLET FOR DISPOSAL & DW UNDER SINK**
- 3 SWITCH FOR DISPOSAL
- **OUTLET FOR APPLIANCES** 4
- **OUTLET/SWITCH HIGH ON ISLAND** 5
- 6 ATTIC LIGHT & SWITCH
- FLOOR OUTLET 7
- 8 OUTLET @ CEILING
- 9 FIREPLACE VENT FAN

ELECTRICAL NOTES

- FLOOR BOXES TO HAVE 110 QUAD OUTLETS
 ALL LIGHT SWITCHES TO BE CONFIRMED WITH OWNER.
 ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING SITE CONDITIONS & MAKE ANY NECESSARY ADJUSTMENTS
- SMALLEST WIRE SIZE TO BE 12-2.
- 5. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE & ANY
- OTHER APPLICABLE REGULATIONS OR CODES, AT THE SITE. 6. ALL SMOKE DETECTORS TO BE HARD-WIRED TOGETHER WITH BATTERY
- BACKUP.
- 7. CONTRACTOR TO LOCATE PHONE, CABLE, ETC. AS PER OWNER'S SPECIFICATIONS.
- 8. ALL LIGHTING LOCATIONS ARE APPROXIMATE & SHOULD BE BALANCED BY
- FOOT CANDLES PER LICENSED ELECTRICIANS & VERIFIED WITH OWNER.
- SMOKE DETECTORS & CO DETECTORS TO BE COMBO U.N.O.
 VERIFY SECURITY SYSTEM & SPECIFICATIONS WITH OWNER.































February 13, 2020

City of Rockwall Planning & Zoning Department 385 S. Goliad St. Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **702 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Thank you, Reese Baez

Triton General Contractor 469-931-2267

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBSIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 8, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and being more specifically depicted in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection* 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

 Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), Revocation, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF APRIL, 2020.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: <u>March 16, 2020</u>

2nd Reading: April 6, 2020









CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Reese Baez
CASE NUMBER:	Z2020-003; Specific Use Permit (SUP) for a Residential Infill for 610 Parks Avenue

SUMMARY

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue, and take any action necessary.

BACKGROUND

The *subject property* is located within the Foree Subdivision, which was filed with Rockwall County on February 7, 1913. According to Rockwall Central Appraisal District (RCAD), a single-family home was constructed on Lots 7, 8, and 9, Block D, of the Foree Addition in 1980; however, these properties were never assembled or replatted. Currently, the single-family home and two (2) accessory buildings are the only structures situated across these three (3) lots. Staff should note that these three (3) parcels of land are considered to be *Lots of Record* or "...parcel[s] of land which is [*are*] part of a subdivision, the map or plat of which has been recorded in the office of the County Clerk of Rockwall County ... prior to the adoption date of the ordinance [*1983*] from which this [*the*] Unified Development Code is derived which has not been divided [*or assembled*] since recording." This means that if the current single-family home and both accessory structures are removed from the property, each of the three (3) parcels could be conveyed individually and developed in accordance with the Single-Family 7 (SF-7) District standards.

<u>PURPOSE</u>

The applicant, *Reese Baez*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a singlefamily home on Lot 7 (*i.e. 610 Parks Avenue*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). This request is being made in conjunction with *Case No. Z2020-002*, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 7 (*i.e. 702 Parks Avenue*).

ADJACENT LAND USES AND ACCESS

The subject property is located at 702 Parks Avenue. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is 702 & 704 Parks Avenue (*i.e. Lots 8 & 9, Block D, Foree Addition*). North of this are three (3) single-family homes followed by Heath Street, which is designated as a *R2* (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond Heath Street are three (3) residential subdivisions (*i.e. Pecan Grove, Stark, & Wade*). All of these areas are zoned Single-Family 7 (SF-7) District.
- <u>South</u>: Directly south of the subject property are three (3) residential homes followed by Lillian Street, which is designated as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this are four (4) more residential homes followed by Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan. Williams Street is the boundary to the Old Town Rockwall (OTR) Historic District, which consists of several residential subdivisions (*e.g. F&M, Kathleen's and Crawford, Autumn*). All of these areas are zoned Single-Family 7 (SF-7) District.

- *East.* Directly east of the subject property is N. Clark Street followed by two (2) rows of single-family homes fronting on to Nash Street. Both of these streets are designated as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this is a 6.210-acre parcel of land that is occupied with a house of worship (*i.e. Rockwall Assembly of God*). All of these properties are zoned Single-Family 7 (SF-7) District.
- <u>West</u>: Directly west of the subject property are eight (8) houses fronting onto Park Avenue, and the continuation of the Foree and F&M Subdivisions. All of these properties are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Foree Subdivision has been in existence since February 7, 1913 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property being in a Single-Family 7 (SF-7) District requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Parks Street Between Lillian Street and Heath Street	Proposed Housing
Building Height	One (1) Story	One (1) Stories (<i>i.e.</i> ~17-feet at the Midpoint of Roof)
Building Orientation	All homes face towards Parks Street with the exception of 601 Parks Street, which faces onto Lillian Street.	The front elevations of the home will face on to Parks Street.
Year Built	1929-1995	N/A
Building SF on Property	1,264 SF – 3,912 SF	2,726 SF
Building Architecture	Various [Minimal Traditional, Tudor, Ranch, etc.]	Comparable Architecture
Building Setbacks:		
Front	The front setbacks range from 20-feet to 25-feet along Parks Street.	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet, with the exception of accessory structures which appear to be between zero (0) and three (3) feet.	10-Feet
Building Materials	Wood, Masonite, and/or Aluminum Siding and Brick	HardiBoard Siding
Paint and Color	Pink, Yellow, White, and Tan	Gray (with White Trim)
Roofs	Composite Shingles and Standing Seam Metal	Composite Shingle with Standing Seam Metal Roof Element at front entry – Color: Zinc Grey
Driveways	A mixture of front entry garages/driveways. Some houses do not have a garage and one (1) house has a carport.	Rear Entry Garage Accessible from N. Clark Street

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed

home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Parks Avenue and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 28, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes (*Caruth Ridge Estates*) Homeowners Association (HOA), which is the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received two (2) emails in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit* 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

STAFF USE ONLY . DEVELOPMENT APPLICATION PLANNING & ZONING CASE NO. NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE City of Rockwall CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE Planning and Zoning Department SIGNED BELOW. 385 S. Goliad Street DIRECTOR OF PLANNING: Rockwall, Texas 75087 CITY ENGINEER: Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]: **Zoning Application Fees: Platting Application Fees:** [] Zoning Change (\$200.00 + \$15.00 Acre)¹ [] Master Plat (\$100.00 + \$15.00 Acre) 1 Specific Use Permit (\$200.00 + \$15.00 Acre) 1 [] Preliminary Plat (\$200.00 + \$15.00 Acre)¹ [] PD Development Plans (\$200.00 + \$15.00 Acre) 1 [] Final Plat (\$300.00 + \$20.00 Acre) 1 [] Replat (\$300.00 + \$20.00 Acre)¹ **Other Application Fees:** [] Amending or Minor Plat (\$150.00) [] Tree Removal (\$75.00) [] Plat Reinstatement Request (\$100.00) [] Variance Request (\$100.00) Site Plan Application Fees: Notes: [] Site Plan (\$250.00 + \$20.00 Acre) 1 1: In determining the fee, please use the exact acreage when multiplying by the [] Amended Site Plan/Elevations/Landscaping Plan (\$100.00) per acre amount. For requests on less than one acre, round up to one (1) acre. PROPERTY INFORMATION [PLEASE PRINT] Address UIO PARTS AVE. GOLWAN, TE TEOS Subdivision Forecs Addition Vol 12. Pg. 568 Block General Location PARKS AND ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] Current Use Usidential Current Zoning lesidential SF-7 Proposed Use fisidentral Proposed Zoning NIX Lots [Proposed] 1. Acreage Lots [Current] SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case. OWNER/APPLICANT/AGENT INFORMATION [Please print/check the primary contact/original signatures are required] [V] Applicant [] Owner Contact Person Contact Person S. Goliad Address Address City, State & Zip City, State & Zip Phone Phone E-Mail Voaca Chitongc. Com E-Mail NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared [Owner] the undersigned, who stated the information on this application to be true and certified the following: "I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $\frac{215.00}{20}$, to cover the cost of this application, has been paid to the City of Rockwall on this the 1 day of $\frac{215.00}{20}$, 20 20. By signing this application, I agree that the City of Rockwall on this the 1 day of $\frac{215.00}{20}$, 20 day of $\frac{215.00}{20}$. that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information." MEGAN MURPHY----Notary Public, State of Texas Given under my hand and seal of office on this the _____ day of _____ Comm. Expires 05-10-2020 Notary ID 130656823 **Owner's Signature** Notary Public in and for the State of Texas My Commission Expires

DEVELOPMENT APPLICATION

+ ROCKWALL TX 75087 + [P] (972) 771-7745 + (1) (972) 7





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Departme 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-003Case Name:SUP for 610 Parks Ave.Case Type:Specific Use PermitZoning:SF-7Case Address:610 Parks Ave.



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745

Gamez, Angelica

From:	Gamez, Angelica
Sent:	Friday, February 28, 2020 10:30 AM
Subject:	Neighborhood Notification program
Attachments:	PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf;
	PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner *February 28, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 10, 2020 at 6:00 p.m.*, and the City Council will hold a public hearing on *Monday, March 16, 2020 at 6:00 p.m.*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at https://sites.google.com/site/rockwallplanning/development-cases.

Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <u>http://www.rockwall.com/planning/hoa.asp</u>.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator City of Rockwall 972.771.7745 Office 972.772.6438 Direct http://www.rockwall.com/planning/ **City of Rockwall**



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number: Z2020-003 Case Name: SUP for 610 Parks Ave. Case Type: Zoning Zoning: SUP Case Address: 610 Parks Ave.



Date Created: 2/18/2020 For Questions on this Case Call (972) 771-7745 ROLAND RANDY C AND ANDREA B **101 JOE WHITE ST** ROCKWALL, TX 75087

> CURRENT RESIDENT **105JOE WHITE** ROCKWALL, TX 75087

KENNEDY HAYLEY 201 CHAMPION DR WYLIE, TX 75095

REDDEN POLLY PEOPLES 213 SOVEREIGN CT ROCKWALL, TX 75032

KAUFMANN EVAN J 2312 BAHAMA RD AUSTIN, TX 78733

VANHORN PENNI AND IOF 7YI KA AND BONNIF 7YI KA 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032

HOLZHEIMER THOMAS R AND NICOLE M 501 CORNELIA ST ROCKWALL, TX 75087

> **MCINTIRE J M & ERLINDA** 502 E HEATH ST ROCKWALL, TX 75087

TANTON MELVIN V JR 504 F HEATH ST ROCKWALL, TX 75087

ALSOBROOK HAROLD DAVID JR **505 CARRIAGE TRAIL** ROCKWALL, TX 75087

505 CORNELIA ROCKWALL, TX 75087

CURRENT RESIDENT **103JOE WHITE** ROCKWALL, TX 75087

BREWER SHERI RENEE 119 SUNRISE VISTA WAY PONTE VEDRA, FL 32081

RIPSTOP PROPERTIES LLC 205 S CLARK STREET ROCKWALL, TX 75087

GRIFFIN PATTY JEAN CORNELIUS 2140 AIRPORT RD ROCKWALL, TX 75087

ROCKWALL, TX 75087

CURRENT RESIDENT 405EHEATH ROCKWALL, TX 75087

GREENAWALT PATRICK ALAN 501 LILLIAN ST ROCKWALL, TX 75087

503 NASH ST ROCKWALL, TX 75087

CURRIE DUNCAN & JOETTA 504 NASH STREET ROCKWALL, TX 75087

SCHMIDT JERRY LEE AND BARBARA JEAN

SILVA MANUEL 1041 E FM 552 ROCKWALL, TX 75087

SABRSULA MELISSA 1571 ANNA CADR RD ROCKWALL, TX 75087

HARRIS RICHARD D & JUDY A 210 GLENN AVE ROCKWALL, TX 75087

> PARK ALLEN 2301 LAFAYETTE DR HEATH, TX 75032

ZYLKA JOE AND BONNIE 3021 RIDGE RD STE A-66 ROCKWALL, TX 75032

KIRKPATRICK DAVID S & RHONDA D 500 E HEATH ST ROCKWALL, TX 75087

> BARNETT GEORGE S **502 CORNELIA ST** ROCKWALL, TX 75087

CURRENT RESIDENT 503CORNELIA ROCKWALL, TX 75087

CURRENT RESIDENT 504CORNELIA ROCKWALL, TX 75087

BARRON GILDARDO 505 LILLIAN ST ROCKWALL, TX 75087

SHERMAN PATRICIA AND MARK

GLASS JERRY R **301 MEADOWDALE DR**

DAVIS JUDY 505 NASH ST ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT 506 NASH ROCKWALL, TX 75087

BUTLER JOSEPH DAVID AND ROSE LOUISE 507 NASH ST ROCKWALL, TX 75087

> FREEMAN WILLIAM B JR 508 PARKS AVE ROCKWALL, TX 75087

RICHARDSON PATRICE **510 COVE RIDGE RD** HEATH, TX 75032

DENNIS KIMBERI Y 513 E HEATH ST ROCKWALL, TX 75087

CURRENT RESIDENT 601EHEATH ROCKWALL, TX 75087

SUTTON JUDITH A 603 E HEATH ST ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA 605 NASH ST ROCKWALL, TX 75087

CURRENT RESIDENT 605EHEATH ROCKWALL, TX 75087

CURRENT RESIDENT 505EHEATH ROCKWALL, TX 75087

CURRENT RESIDENT 506CORNELIA ROCKWALL, TX 75087

TOLMAN BROOKS 507 PARKS AVE ROCKWALL, TX 75087

DOROTIK DAVID W 509 PARKS AVE ROCKWALL, TX 75087

CURRENT RESIDENT 510PARKS

TROWBRIDGE PATRICK A & ELIZABETH 601 PARKS AVE ROCKWALL, TX 75087

602 NASH STREET

HOWARD DEBORAH K 604 NASH ST ROCKWALL, TX 75087

DINGWELL MARGUERITE NASH & ADAM 605 PARKS AVE

> CURRENT RESIDENT 605PARKS ROCKWALL, TX 75087

UC RUBEN & EDITH CORTE DE 506 LILLIAN ST ROCKWALL, TX 75087

> CURRENT RESIDENT 506PARKS ROCKWALL, TX 75087

CAWTHON RICK 508 NASH ST ROCKWALL, TX 75087

CURRENT RESIDENT 509EHEATH ROCKWALL, TX 75087

COATS LOIS LOUISE 512 E HEATH ST ROCKWALL, TX 75087

STEGALL VENTURES LLC 601 SUNSET HILL DRIVE ROCKWALL, TX 75087

LEAL ROLAND & CAROL **602 PARKS AVENUE** ROCKWALL, TX 75087

FUQUA MATTHEW 604 PARKS AVE ROCKWALL, TX 75087

DAVIS SUSAN ELAINE BYRD 605 STORRS ROCKWALL, TX 75087

> DANIEL RODNEY 606 AUSTIN ST ROCKWALL, TX 75087

SIMMONS APRIL R ROCKWALL, TX 75087

ROCKWALL, TX 75087

ROCKWALL, TX 75087

GALASSI TORI D 606 NASH ST ROCKWALL, TX 75087

BHATIA SACHIT S AND LAURA NICOLE JONES 607 NASH STREET ROCKWALL, TX 75087

TORRES ROSIE 609 NASH ST ROCKWALL, TX 75087

CASTRO RENE & BETSY 700 WINDSONG LN ROCKWALL, TX 75032

CURRENT RESIDENT 701NASH ROCKWALL, TX 75087

ELLISTON REBECCA S 703 NASH STREET ROCKWALL, TX 75087

CURRENT RESIDENT 704NASH ROCKWALL, TX 75087

PECINA JOE & LORETHIA ANN 706 PARKS AVE ROCKWALL, TX 75087

KOLWINSKA GERALDINE D 708 PARKS AVE ROCKWALL, TX 75087

CURRENT RESIDENT 709NASH ROCKWALL, TX 75087 WALLS JEFFREY V & NATALIE ANN 606 PARKS AVE ROCKWALL, TX 75087

> STARK ROBERT S & TINA J 607 SAINT MARY ST ROCKWALL, TX 75087

CURRENT RESIDENT 610NASH ROCKWALL, TX 75087

MOONEY BEULAH CHRISTINE 701 AUSTIN ST ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER 702 NASH ST ROCKWALL, TX 75087

> HANSON BRANDON R 703 PARKS AVE ROCKWALL, TX 75087

RUSHING BRIAN AND CHANEL KENTOPP 705 NASH ST ROCKWALL, TX 75087

CURRENT RESIDENT 707NASH ROCKWALL, TX 75087

CURRENT RESIDENT 708NASH ROCKWALL, TX 75087

STARK ROBERT C 710 AGAPE ST ROCKWALL, TX 75087 SPERLING SANDY 607 E HEATH ST ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA 608 NASH ST ROCKWALL, TX 75087

BLAZEK ALVIN F & DOROTHY H 6634 DAVIS DR ROYSE CITY, TX 75189

CASTILLO AGAPITO & ESTELA 701 PARKS AVE ROCKWALL, TX 75087

> CURRENT RESIDENT 702PARKS ROCKWALL, TX 75087

THOMAS TRACY 704 KERNODLE ST ROCKWALL, TX 75087

ARELLANO JESUS L & CYNTHIA A HERRERA 706 NASH ST ROCKWALL, TX 75087

CURRENT RESIDENT 707PARKS ROCKWALL, TX 75087

BARRON ARMANDO 709 PARKS AVE ROCKWALL, TX 75087

KING MISTY 710 NASH STREET ROCKWALL, TX 75087 NIXON ALBERT 711 PARKS AVE ROCKWALL, TX 75087

CURRENT RESIDENT 801AUSTIN ROCKWALL, TX 75087

CURRENT RESIDENT 803AUSTIN ROCKWALL, TX 75087

AUSTIN TRENTON C 806 AUSTIN ST ROCKWALL, TX 75087

JENNINGS AMANDA L 811 AUSTIN ST ROCKWALL, TX 75087

WARDELL JOHN P & JULIE C 880 IVY LN ROCKWALL, TX 75087

> CURRENT RESIDENT EHEATH ROCKWALL, TX 75087

ROCKWALL ASSEMBLY OF GOD C/O DAVID SPIEGEL PO BOX 33 ROCKWALL, TX 75087

> CURRENT RESIDENT ROCKWALL, TX 75087

CONAWAY SUE ANN 7123 OCONNELL ST ROCKWALL, TX 75087

COLUNGA MAXIMO & MARGARITA 802 E HEATH ST ROCKWALL, TX 75087

BROWN REBECCA AND THOMAS 804 E HEATH ST ROCKWALL, TX 75087

> CURRENT RESIDENT 808AUSTIN ROCKWALL, TX 75087

CURRENT RESIDENT 811AUSTIN ROCKWALL, TX 75087

CURRENT RESIDENT 901WILLIAMS ROCKWALL, TX 75087

WIMPEE JANIE K LIFE ESTATE RICHARD D WIMPEE AND JUDY A HARRIS AND JOE E WIMPEE AND JERRY M WIMPEE 704 E MAPLE ST FAYETTEVILLE, AR 72701

> AWAJA PROPERTIES LLC PO BOX 811 ROYSE CITY, TX 75189

CURRENT RESIDENT ROCKWALL, TX 75087 PALMER LINDA C 714 PARKS AVE ROCKWALL, TX 75087

CURRENT RESIDENT 802NASH ROCKWALL, TX 75087

CURRENT RESIDENT 804NASH ROCKWALL, TX 75087

CURRENT RESIDENT 809AUSTIN ROCKWALL, TX 75087

MCCLAIN LOUETTA 8309 TURNBERRY ST ROWLETT, TX 75089

BELANGER CORKY 921 N ALAMO RD ROCKWALL, TX 75087

KINDRED ROBERT M P.O. BOX 261638 PLANO, TX 75026

CURRENT RESIDENT ROCKWALL, TX 75087

CURRENT RESIDENT



To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-003: 610 Parks Avenue

EMAIL: PLANNING@ROCKWALL.COM

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday**, **3/10/2020** at **6:00 p.m.**, and the City Council will hold a public hearing on **Monday**, **3/16/2020** at **6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

David Gonzales Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - ·

Case No. Z2020-003: 610 Parks Avenue

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:			
Address:			

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



PROPOSED RESIDENCE FOR MURPHY 610 Parks Ave. Rockwall, Texas 75087

OWNER REVIEW:	10-25-2019	11-12-2019							
ISSUE:		OWNER REVIEW:							
				COPYRIGHT NOTICE:	These drawings and specifications are copyrighted and subject to copyright	protection as an arcintectural work under see: 102 of the copyright act, 17 u.S.C. As amended January 2003. The protection	includes, without limitation, the overall form, arrangement and composition of forces and elements of the desiron	of these drawings and specifications may	result in cessation of construction, building seizure, and/or monetary liability.

PROPOSED RESIDENCE FOR MURPHY 610 Parks Ave. Rockwall, Texas 75087



COVER PAGE








NORTH ELEVATION SCALE: 3/16" = 1'-0"



EXTERIOR FINISH SCHEDULE:
A HARDIE BOARD SIDING, FASCIA & TRIM, COLOR: GRAY
B HARDIE BOARD SIDING, COLOR: GRAY
\bigodot standing seam MTL. ROOF system, berridge or e.q., color: zinc grey
D PREFINISHED ALUMINUM FLASHING, COLOR TO MATCH SIDING
E ENTRY DOORS AS SELECTED
F WINDOW – INSULATED, COLOR: BLACK
G COMPOSITION ASPHALT ROOF, TYP., (2701bs)
H 4X6 GUTTER & DOWNSPOUT - PREFINISHED, COLOR: AS SELECTED BY OWNER
GABLE END, 8" DECOR. WOOD TRIM COLOR: WHITE
K 6x6 wood post @ patio
L 1X WOOD TRIM @ DECOR. COLUMNS

PROPOSED RESIDENCE FOR MURPHY 75087 Ave 610 W. Parks A Rockwall, Texas 7



EXTERIOR ELEVATIONS

DATE:		SHEET NO:
	OCT 2019	
PROJECT NO:		
	2019060	
DRAWN BY:		A50
CHECKED BY:		

MURPHY	RESIDENTIAL
LEGAL DESCRIPTI	ION AND OR ADDRESS:

LOT 7 Block D Foree tract 610 Park Avenue City of Rockwall, Rockwall County, Texas

<u>OWNER</u> Mr. Sam & Megan Murphy Wild Oak Rockwall, TX 75032

APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com CITY OF ROCKWALL CASE NUMBER Z2020-003



A V E N Uper plat . N O. K Р А 50 ў



ARCHITECTURAL SITE PLAN 1 SCALE: 1/8" = 1'-0"

PROPOSED RESIDENCE FOR MURPHY 610 W. Parks Ave. Rockwall, Texas 75087





DATE:	OCT 2019	SHEET NO:
PROJECT NO:	2019060	A 4 0 0
DRAWN BY:		A100
CHECKED BY:		



MURPHY	RESIDENTIAL

LEGAL DESCRIPTION AND OR ADDRESS:

LOT 7 Block D Foree tract 610 Park Avenue City of Rockwall, Rockwall County, Texas

<u>OWNER</u> Mr. Sam & Megan Murphy Wild Oak Rockwall, TX 75032

APPLICANT Carroll Architects, INC. 750 E. Interstate 30 #110 Rockwall, TX 75087 P: 972-732-6085 E: jc@carrollarch.com

CITY OF ROCKWALL CASE NUMBER Z2020-003







OWNER REVIEW:	10-25-2019	11-12-2019							
ISSUE:		OWNER REVIEW:							
				COPYRIGHT NOTICE:	These drawings and specifications are copyrighted and subject to copyright	protection as an arcminectural work under see.102 of the copyright act, 17 u.S.C. As amended January 2003. The protection	includes, without limitation, the overall form, arrangement and composition of stores and elements of the desiron	Under such protection, unauthorized use of these drawings and specifications may	result in cessation of construction, building seizure, and/or monetary liability.

FOR 80 PROPOSED RESIDENCE F **MURPHY** 610 Parks Ave. wall Rocl



FLOOR PLAN

DATE:	SI	HEET NO:
	OCT 2019	
PROJECT NO:		
	2019060	A 004
DRAWN BY:		A201
CHECKED BY:		





PROPOSED RESIDENCE FOR **MURPHY** 610 Parks Ave. Rockwall, Texas 75087



ROOF PLAN

DATE:		SHEET NO:
	OCT 2019	SHELT NO.
PROJECT NO:	2019060	A 0 0 4
DRAWN BY:		A301
CHECKED BY:		





1 REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"

OWNER REVIEW:	10-25-2019	11-12-2019							
ISSUE: O		OWNER REVIEW:							
					ications are copyright	ural work under act, 17 u.S.C. . The protection	the overall mposition of desiren	cifications may	onetary liability.
				COPYRIGHT NOTICE:	These drawings and specifications are copyrighted and subject to copyright	protection as an accinectural work under sec. 102 of the copyright act, 17 u.S.C. As amended January 2003. The protection	includes, without limitation, the overall form, arrangement and composition succes and elements of the design	Under such protection, unauthorized use of these drawings and specifications may	building seizure, and/or monetary liability.

PROPOSED RESIDENCE FOR MURPHY 610 Parks Ave. Rockwall, Texas 75087



REFLECTED CEILING PLAN

DATE: SHEET NO: OCT 2019 PROJECT NO: 2019060 DRAWN BY: A6601 CHECKED BY:





- ALL TENDONS SHALL BE FABRICATED FROM 1/2" DIAMETER, 270 KSI LOW RELAXATION STRANDS IN ACCORDANCE WITH A STM A416. TENDONS SHALL BE GREASED WITH A CORROSION INHIBITOR AND PROTECTED WITH A PLASTIC SHEATH.
- STRAND LENGTHS SHALL BE THE RESPONSIBILITY OF THE SUPPLIER. CONCRETE SHALL BE NORMAL WEIGHT, TRANSIT MIXED AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS UNLESS INDICATED OTHERWISE.
- CONCRETE SHALL BE IN ACCORDANCE WITH ACI-318 ACI-301 AND ASTM C94. TENDONS SHOULD BE STRESSED WITHIN
- 7 TO 10 DAYS AFTER CONCRETE PLACEMENT. WATER CONTENT SHALL BE CONTROLLED AND MINIMIZED IN ACCORDANCE WITH ACI AS REFERENCED ABOVE
- ALL CONVENTIONAL REINFORCING BARS SHALL BE GRADE 60 IN ACCORDANCE WITH ASTM A615. WHERE REBAR IS USED FOR EXPOSED GRADE BEAMS OR TOP AND BOTTOM REINFORCING, PROVIDE MATCHING "L"
- BARS WITH EACH LEG EQUAL TO 40 BAR DIAMETERS OR GRATER.
- CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE
- FOUNDATION SHALL BE PLACED MONOLITHICALLY TO AVOID "COLD JOINTS." I.E., PLACEMENT SHALL PROCEED FROM START TO FINISH IN A MONOLITHIC FASHION. WHERE COLD JOINTS ARE UNAVOIDABLE DUE TO DELAYS, CONTRACTOR SHALL CONSOLIDATE CONCRETE BY VIBRATING THROUGH COLD JOINT BOUNDARY. IF LONG DELAY IS ANTICIPATED, CONTRACTOR SHALL FORM BULKHEAD OR OTHERWISE CREATE A VERTICAL CONTROL SURFACE FOR INSERTION OF # DEFORMED DOWELS AT 18" O.C. IN SLAB AND (2) #5 DEFORMED DOWELS TOP AND BOTTOM OF BEAMS. DOWELS SHALL BE 18" LONG. SITE PREPARATION NOTES
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION DURING EXCAVATION TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO ENABLE THEM TO IDENTIFY AND LOCATE, REROUTE OR TO MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMAL DELAYS.
- FOUNDATION EXCAVATION SHOULD BE PROPERLY MONITORED TO ENSURE UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
- EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING. SELECT FILL MATERIAL SHALL BE COMPACTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL INVESTIGATION. SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH SPECIFICATIONS IN THE PROJECT GEOTECHNICAL INVESTIGATION.

- CONSTRUCTION NOTES SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE OR GROUND WATER WILL NOT COLLECT AROUND FOUNDATION. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED AND MAINTAINED SLOPING AWAY FROM FOUNDATION A MINIMUM OF 2-5% (1/4 - 5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
- FINAL GRADES SHALL HAVE POSITIVE DRAINAGE SLOPING AWAY FROM FOUNDATION. A MINIMUM OF 6' CLEARANCE BETWEEN TOP OF SLAB AND/OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
- SEE PLAN BEAM TRENCHES SHALL BE CLEAN AND FREE OF LOOSE SOIL AND DEBRIS. BEAM BOTTOMS MUST BE FOUNDED IN MINIMUM 12" UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS ARE SPECIFIED. BEAM TRENCH BOTTOMS MAY BE ROUNDED BY TRENCH CUTTING DEVICE. AVERAGE BEAM WIDTH BELOW FOUNDATION SLAB MUST BE EQUAL TO OR GREATER THAN DESIGN BEAM WIDTH, "W", NOTED ON FOUNDATION PLAN.
- AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FOR PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO THE POLYETHYLENE VAPOR
- A LAYER OF 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB SHALL BE PROVIDED UNLESS INDICATED OTHERWISE.
- TENDONS AND REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT 4' MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT. S-HOOKS MAY NOT BE USED FOR TENDON TIES.
- CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION AROUND TENDON ANCHORAGES
- SLAB STRAND LOCATIONS MAY BE PLACED WITHIN 8" OF PLAN LOCATION TO MAINTAIN PROPER CLEARANCE. WHERE DISCREPANCIES BETWEEN FOUNDATION DIMENSIONS AND ARCHITECTURAL PLANS ARE NOTED ARCHITECTURAL PLANS SHALL CONTROL
- COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROPS, INSERTS SLOPES, BRICK-LEDGES AND RELATED ITEMS.
- IF SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MUST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
- 12. PLUMBING LINES SHALL NOT BE LOCATED INSIDE BEAMS, EXCEPT AT OR NEAR PERPENDICULAR CONFIGURATION TO BEAMS SAND OR GRAVEL BEDDING MATERIAL FOR UTILITIES SHALL NOT BE USED WITHIN 5' OF FOUNDATION EDGE. A
- CLAY PLUG SHALL BE PROVIDED TO PREVENT WATER INFILTRATION UNDER SLAB. WATER CUTOFF VALVES AND PIPE TRANSITIONS SHALL NOT BE INSTALLED WITH 5' OF FOUNDATION EDGE.
- IRRIGATION SYSTEMS SHALL NOT SPRAY DIRECTLY ON FOUNDATION.
 SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOPE AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT PONDING OF WATER.
- TREES AND SHRUBS SHALL NOT BE LOCATED CLOSER TO FOUNDATION THAN A HORIZONTAL DISTANCE EQUAL TO LOCATE ANCHOR ROUGHLY ONE - HALF OF TREE OR SHRUB'S MATURE HEIGHT WITHOUT INSTALLATION OF PIERS OR ROOT BARRIER, IF IMPRACTICAL, A DEEPENED EXTERIOR BEAM SHALL BE PROVIDED A MINIMUM DEPTH OF 48" BELOW OF GRADE, FOR A PERPENDICULAR DISTANCE EQUAL TO ROUGHLY ONE HALF OF TREE OR SHRUBS MATURE HEIGHT.
- 18. LANDSCAPING SHALL NOT AFFECT FINAL GRADE. EXCAVATION OF SOILS ADJACENT TO FOUNDATION FOR PURPOSE OF LANDSCAPING ARE PROHIBITED. LANDSCAPING SHALL BE PLACED ON TOP OF FINAL GRADE. SOLID LANDSCAPE EDGING SHALL NOT BE USED.

STRESSING NOTES

- EACH STRAND DURING STRESSING OPERATIONS SHALL BE INITIALLY STRESSED TO 33.0 KIPS AND SEATED AT 28.9 KIPS. I IMITATIONS
- A PRE-POUR INSPECTION IS REQUIRED BY THE ENGINEER OF RECORD. THE ENGINEER IS ALSO AVAILABLE FOR PLACEMENT AND TENDON STRESSING OPERATIONS.
- THE ENGINEER WILL RELY ON INFORMATION CONTAINED IN THE PROJECT GEOTECHNICAL REPORT PROVIDED FOR THE SPECIFIC TRACT OF LAND PROPOSED STRUCTURE IS TO BE CONSTRUCTED. THE ENGINEER DOES NOT ASSUME OR TAKE ANY RESPONSIBILITY WHATSOEVER FOR THE ACCURACY OF SAID SOILS REPORT, OR ANY INFORMATION CONTAINED THEREIN WHICH THE ENGINEER MAY HAVE RELIED UPON TO DESIGN THE FOUNDATION FOR THE PROPOSED STRUCTURE. IF THE CLIENT PROVIDED GEOTECHNICAL REPORT DOES NOT FOLLOW GUIDELINES OF THE POST-TENSIONING INSTITUTE, THE ENGINEER MAY SUBSTITUTE USABLE DESIGN INFORMATION DERIVED FROM RAW SOILS DATA OBTAINED FROM SAID GEOTECHNICAL REPORT.
- FOR FOUNDATION TO PERFORM AS DESIGNED, OWNER MUST ENSURE THAT SOIL MOISTURE CONTENT IS MAINTAINED AT A CONSTANT LEVEL SURROUNDING FOUNDATION AT ALL TIMES. DO NOT ALLOW SOIL TO DRY OUT TO A POINT WHERE SOIL CRACKS OR PULLS AWAY FROM FOUNDATION.
- BUILDER ACKNOWLEDGES IMPORTANCE OF FOUNDATION MOISTURE MAINTENANCE AND TRANSMITS TO OWNER WITH OWNER'S RECEIPT ACKNOWLEDGED.
- SLAB STRANDS AND BEAM STRANDS SHALL MAINTAIN A MINIMUM OF 5" CLEARANCE FROM THE LOWEST EDGE FROM THE TOP OF THE SLAB TO THE CENTER OF THE ANCHOR. SLAB STRANDS AND BEAM STRANDS SHALL



_____#3___BARS

VERTICAL

SECTION 11

- #4 BAR CONT IF RECESS_ IS GREATER THAN 6" MANDATORY CHAIR SLAB STRAND "S" SLAB STRAND "S" WHEN INDICATED #4 BAR CONT SLAB STRAND "S SLAB STRAND "S WHEN INDICATED WHEN INDICATED WHEN INDICATED FOR DROPS IN PLAN VIEW IN PLAN VIEW GREATER THAN 4" IN PLAN VIEW IN PLAN VIEW 10 ØŁ CONCRETE CHAIRS CONCRETE CHAIRS CONCRETE CHAIRS 4'-0" MAXIMUM 4'-0" MAXIMUM -0" MAXIMUM - CONCRETE CHAIRS 0.C.E.W. 0 C F W 4'-0" MAXIMUM O.C.E.W. DRAPED BEAM STRANDS "BS" DRAPED BEAM DRAPED BEAM BOTTOM OF SLAB STRANDS "BS STRANDS "BS STRANDS ٢ ٢ \odot SEE TYPICAL (\mathbf{i}) W/O BEAM ,™ ™ 3°, SEE TYPICA DRAPED BEAM STRANDS "BS BEAM SECTION REAM BEAM SECTION ⊬ w SEE TYPICAL REAM SECTION SECTION SECTION 3 SECTION SECTION 2 NTS NTS NTS NTS
- PLACED 5" BELOW LOWEST *ANCHOR TO BE PLACED 5" BELOW LOWEST EDGE OF SLAB STRAND "S" WHEN INDICATED SLAB STRAND "S" SLAB STRAND "S" SLAB STRAND "S WHEN INDICATED WHEN INDICATED WHEN INDICATED IN PLAN VIEW IN PLAN VIEW IN PLAN VIEW **** CONCRETE 61 CONCRETE CHAIRS CONCRETE CHAIRS CONCRETE CHAIRS 4'-0" MAXIMUM 4'-0" MAXIMUM 4'-0" MAXIMUM 0.C.E.W. O.C.E.W. 0 C F W #5 BARS @ O.C.E.W DRAPED BEAM <u>~ 0</u> 5 BARS CONT ☺ STRANDS BEND AND EXTEND 1'- 6" PAST EACH DRAPED BEAM SEE TYPICAL STRANDS "B "BS CORNER TOP & BEAM SECTION VERIEY SEE PLAN BOTTOM OF BEAM BEAM SECTION

SLAB STRAND "S

WHEN INDICATED

IN PLAN VIEW

#4 BAR

CONTÍNUÕUS



*ANCHOR SHALL BE

+ w -

SECTION 6

NTS

FROM BACK

∠5", MIN 12″ MAX

BEAM.

CONT

0.C

EDGE OF CONCRETE

IN PLAN VIEW

O.C.E.W





DRAPED BEAM 🖹

SEE TYPICAL

STRANDS

BEAM SECTION

#4 BARS -4" 0.C.



SECTION 12





SECTION 13

EPOXY #5 DEFORMED DOWELS @ 12" O.C. TOP & BOTTOM







PLAT OF SURVEY



DESCRIPTION

BEING Lot 7, Block D, Forees Addition, an Addition to the City of Rockwall, Rockwall County, Texas, according to the Map thereof recorded in Volume 12, Page 568, of the Map Records of Rockwall County, Texas.

NOTES

1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.

2) BEARING SOURCE: RECORDED PLAT.

3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "RPLS 5034."

SURVEYOR'S CERTIFICATE I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Allegiance Title Company, Old Republic National Title Insurance Company, Inwood National Bank, John P. and Julie Ann C. Wardell at 610 Parks Avenue, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 1st day of October, 2018. SURVEYOR'S CERTIFICATE

HAROLD D. FETTY III 5034 Harold D. Fetty III, R.P.L.S. No. 5034 POFESS 10 $v_{
m D}$ SURVE) H.D. Fetty Land Surveyor, LLC Firm Registration no. 101509-00 6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

































February 13, 2020

City of Rockwall Planning & Zoning Department 385 S. Goliad St. Rockwall, TX 75087

Dear Planning & Zoning Department,

We are requesting a Special Use Permit (SUP) for **610 Parks Ave. Rockwall, TX 75087** due to the new City ordinance on September 1, 2019 to address the changes imposed by HB2439 to protect existing neighborhoods that don't have the same protections as Planned Development Districts. Please consider our proposal for requesting a zoning application.

Reese Baez Triton General Contractor 469-931-2267

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-1XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN ESTABLISHED SUBSIVISION TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.161-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 7, BLOCK D, FOREE ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.161-acre parcel of land being described as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue, and being more specifically depicted in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, **BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection* 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the <u>Residential Plot</u> <u>Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the <u>Building Elevations</u> depicted in *Exhibit* 'C' of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] will require the *Subject Property* to comply with the following:

 Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF APRIL, 2020.

Jim Pruitt, Mayor

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, City Attorney

1st Reading: <u>March 16, 2020</u>

2nd Reading: April 6, 2020



Z2020-003: SUP for 610 Parks Avenue Ordinance No. 20-XX; SUP # S-XXX







CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Ambricio Ibarra
CASE NUMBER:	Z2020-004; Specific Use Permit (SUP) for a Residential Infill for 705 Peters Colony

<u>SUMMARY</u>

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is situated within the Southside Residential Neighborhood Overlay (SRO) District. On March 18, 2019, the City Council approved a replat for Lot 1, Block A, N. E. & J. O. Addition subdividing one (1) lot into two (2) lots for the construction of two (2) single-family homes. The subject property is currently vacant.

<u>PURPOSE</u>

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 1 (*i.e.* 705 Peters Colony) in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC). This request is being made in conjunction with Case No. Z2020-005, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 2 (*i.e.* 703 Peters Colony).

ADJACENT LAND USES AND ACCESS

The subject property is located at 705 Peters Colony. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is a 703 Peters Colony (*i.e. Lot 2, Block A, N. E. & J. O. Addition*), which is currently a vacant lot. North of this are three (3) single-family homes followed by E. Boydstun Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan. Beyond Boydstun Street there are several businesses (*i.e. Hello Gorgeous Salon, Children's Relief International, etc.*). These areas are zoned Single-Family 7 (SF-7) District and Planned Development District 42 (PD-42) for Residential-Office (RO) District land uses.
- <u>South</u>: Directly south of the subject property there are several single-family homes followed by E. Ross Street, which is identified as a *R2* (*residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this, there are several single-family homes that are zoned Single-Family 7 (SF-7) District.
- *East*: Directly east of the subject property is Lamar Street, which is identified as a *R2* (*residential, two* [2] lane, undivided *roadway*) on the Master Thoroughfare Plan. This street is followed by two (2) single-family homes. Beyond this is Sherman Street, which is identified as a *R2* (*residential, two* [2] lane, undivided *roadway*) on the Master Thoroughfare Plan, and beyond this are two (2) single-family homes. All of these areas are zoned Single-Family 7 (SF-7) District.

<u>West</u>: Directly west of the subject property is Peters Colony, which is identified as a *R2* (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan. This street is followed by several single-family homes. Beyond this, is Davy Crockett Street, which is identified as a *R2* (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan. All of these areas are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, Definitions, of the Unified Development Code (UDC) defines Residential Infill in or Adjacent to an Established Subdivision as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "…a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Sanger Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Peters Colony Between Boydstun Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Peters Colony and have a front-facing garages. The homes at the north end of Peters Colony which face E. Boydstun Avenue.	The front elevation of the home will face on to Peters Colony Street.
Year Built	1957-2005	N/A
Building SF on Property	823 SF – 1,375 SF	2,450 SF
Building Architecture	Various	Comparable Architecture to the Homes Built in 2005
Building Setbacks:		
Front	20-Feet	20-Feet (House Setback 30-Feet)
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Wood, Masonite, and Cementitious Lap Siding and Brick	100% Brick
Paint and Color	White, Green, Blue, and Tan	Red with White Trim
Roofs	Composite Shingles	Composite Shingle
Driveways	The majority of the homes have front entry garages with two (2) of the homes having carports instead of	Front entry Garage with front façade of the home being recessed 20-feet behind the garage door.
	garages.	

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages" In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past and that the two (2) properties south of the subject property are configured in the same configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District

as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing singlefamily housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Peters Colony and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 25, 2020, staff notified 121 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had not received any notices concerning this case.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit* 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





City of Rockwall Planning & Zoning Department 385 S. Goliad Street

Planning & Zoning Departme 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-004Case Name:SUP for 705 Peters ColonyCase Type:Specific Use PermitZoning:SF-7Case Address:705 Peters Colony



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745



Case Number:Z2020-004Case Name:SUP for 705 Peters ColonyCase Type:Specific Use PermitZoning:SF-7Case Address:705 Peters Colony



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745 **CITY OF ROCKWALL** , 0

CURRENT RESIDENT ROCKWALL, TX 75087

CURRENT RESIDENT CLARK ROCKWALL, TX 75087

CURRENT RESIDENT DAVY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT SHERMAN ROCKWALL, TX 75087

CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087

PEREZ MARIA D 1002 E WOODIN BLVD DALLAS, TX 75126

JOHNSON PAMELA 1310 COLONY DR GARLAND, TX 75040

PIERATT ALAN & MELODY 1540 MEADOWS CIR ROCKWALL, TX 75087

BALL JUSTIN 2155 CLUBVIEW DR ROCKWALL, TX 75087 SLIGER S T MRS , 0

CURRENT RESIDENT 709 N SHERMAN ROCKWALL, TX 75087

CURRENT RESIDENT DAVEY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT PETERS COLONY ROCKWALL, TX 75087

EBOURN ROCKWALL, TX 75087

EBOYDSTUN ROCKWALL, TX 75087

GOSSEAUX KEVIN **1005 SPRINGFIELD LANE** ALLEN, TX 75002

SMITH CHARLES ELLIOT 1421 COASTAL DR ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC 2289 CR 643 NEVADA, TX 75173

CITY OF ROCKWALL , 0

CURRENT RESIDENT BOURN ROCKWALL, TX 75087

CURRENT RESIDENT DAVY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT PETERS COLONY ROCKWALL, TX 75087

CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087

WRIGHT ALVIN (MR) MAIL RETURNED BY POST OFFICE

> SRIVEN VISTA LLC 10401 JACKSON HOLE LN MCKINNEY, TX 75070

STRANGE EMERSON JR 1521 NOVEL CT GARLAND, TX 75040

DALLAS-GARLAND & NORTHEASTERN RAILROAD C/O GENESEE & WYOMING RAILROAD 1940 ENCHANTED WAY 201 GRAPEVINE, TX 76051

> **OSORNIO JEANNIFFER AND** NOHEMA ESTRADA MACHARIGUE 2307 WHITE ROAD HEATH, TX 75032

CURRENT RESIDENT

CURRENT RESIDENT

NASUFI ZIKRI 1885 HILLCROFT DR ROCKWALL, TX 75087

HANEY W 2824 MISTY RIDGE ROCKWALL, TX 75032

LANIER FAMILY TRUST **ROSA P LANIER TRUSTEE 304 E BOYDSTUN AVE** ROCKWALL, TX 75087

HAMANN BRENT **315 ROLLING MEADOWS CIR** ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D 402 E BOYDSTUN AVE ROCKWALL, TX 75087

HONZELL DAVID AND PATRICIA 414 E. COACHLIGHT TRAIL ROCKWALL, TX 75087

> CURRENT RESIDENT 504 ROSS ROCKWALL, TX TX

JONES ELTON E & LINDA M 512 TERRY LN ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA 602 E BOYDSTUN AVE ROCKWALL, TX 75087

GENTRY GENEVA 605 BOST ST ROCKWALL, TX 75087

CURRENT RESIDENT 606 ROSS ROCKWALL, TX TX

WILLIAMS FREDDIE R & JO ANN **302 E BOYDSTUN AVE** ROCKWALL, TX 75087

DAVIDSON JEFFREY LEE & MELIZA IBARRA 304 E ROSS AVE ROCKWALL, TX 75087

> RANDOLPH JAMES R IR 3314 ANNA CADE RD ROCKWALL, TX 75087

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UPPER ROOM TEMPLE HOLYNESS CHURCH 423 WILLOW RIDGE CIRCLE ROCKWALL, TX 75032

> CURRENT RESIDENT 507EBOYDSTUN ROCKWALL, TX TX

INNER URBAN HOMES INC 519 | 30 #110 ROCKWALL, TX 75087

ESPINOZA SYLVIA AND 604 ROSS STREET

605 E ROSS STREET ROCKWALL, TX 75087

> WILKERSON CLAUDE JR 606 SAINT MARY ST ROCKWALL, TX 75087

VILLALOBOS JOSE MARVIN & JACKELIN IZELA 302 E ROSS ROCKWALL, TX 75087

KATELY CHARLES LEE & THELMA S 309 ANDERSON ST OAKDALE, LA 71463

> CURRENT RESIDENT 401EBOYDSTUN ROCKWALL, TX TX

JONES MARGARINE ESTATE **410 E BOYDSTUN AVE** ROCKWALL, TX 75087

GRUBBS JOHN W 501 E BOYDSTUN AVE ROCKWALL, TX 75087

HFAD TIM **510 MARIPOSA** ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND JACQUELINE YVETTE JACOBS AND JEFFREY DWAYNE JACOBS **5961 CONNIE LANE** ROCKWALL, TX 75032

> MOORE JAMES L 604 S CLARK ROCKWALL, TX 75087

GAMEZ DAVID & PETRA 606 E BOYDSTUN AVE ROCKWALL, TX 75087

CURRENT RESIDENT 608EBOYDSTUN ROCKWALL, TX TX

JOSEPH FABIAN PEREZ ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D

HUBBARD ALPHINEEZES 609 E ROSS ST ROCKWALL, TX 75087

SMITH CHARLES 611 E BOYDSTUN ROCKWALL, TX 75087

CARPENTER KATHRYN ANN 613 E BOYDSTUN AVE ROCKWALL, TX 75087

WOOD JORDAN AND ERIN **615 E BOYDSTUN AVENUE** ROCKWALL, TX 75032

> CURRENT RESIDENT **621 BOYDSTUNAVE** ROCKWALL, TX TX

CURRENT RESIDENT 703 SAM HOUSTON ROCKWALL, TX TX

SCROGGINS MURRAY 704 SHERMAN ST ROCKWALL, TX 75087

CURRENT RESIDENT **705 PETERS COLONY** ROCKWALL, TX TX

DABNEY AUDRY **706 PETERS COLONY** ROCKWALL, TX 75087

CRENSHAW LORENZA 707 DAVY CROCKETT ST ROCKWALL, TX 75087

CURRENT RESIDENT 609SFANNIN ROCKWALL, TX TX

NONUS SHELLY REYNA AND THOMAS **611 FANNIN STREET** ROCKWALL, TX 75087

> TANNER TRUDY LEANN 613 S FANNIN ROCKWALL, TX 75087

> **627 SORITA CIRCLE** HEATH, TX 75032

ROSS LESUE 703 SHERMAN ST ROCKWALL, TX 75087

705 DAVY CROCKETT ROCKWALL, TX TX

705 SAM HOUSTON ST

CURRENT RESIDENT 706 SHERMAN ROCKWALL, TX TX

CURRENT RESIDENT 707 SAM HOUSTON ROCKWALL, TX TX

SCHUMANN LAURIE A 610 E BOYDSTUN AVE ROCKWALL, TX 75087

CURRENT RESIDENT 611EBOYDSTUN ROCKWALL, TX TX

GAMEZ DAVID 614 E BOYDSTUN AVE ROCKWALL, TX 75087

WOODARD JENNIFER **619 E BOYDSTUN AVE** ROCKWALL, TX 75087

CURRENT RESIDENT 701 SAM HOUSTON ROCKWALL, TX TX

HEARD OLLIE FAYE 704 DAVY CROCKETT ST ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D 705 N SHERMAN ROCKWALL, TX 75087

> WILLIAMS SHIRLEY B ETAL 706 DAVY CROCKETT ST ROCKWALL, TX 75087

> > CURRENT RESIDENT 706SCLARK ROCKWALL, TX TX

ABARCA JOANNE 707 SHERMAN ST ROCKWALL, TX 75087

CURRENT RESIDENT

MILLER ANNE ROCKWALL, TX 75087

CURRENT RESIDENT 617EBOYDSTUN ROCKWALL, TX TX

KAUFMANN DOUGLAS A

CURRENT RESIDENT 708 DAVY CROCKETT ROCKWALL, TX TX

HEJI PAUL M 709 PETERS COLONY ROCKWALL, TX 75087

CURRENT RESIDENT 710 PETERS COLONY ROCKWALL, TX TX

ALLEN ETHEL JEAN 711 SHERMAN ST ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE 712 PETERS COLONY ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E 715 PETERS COLONY ROCKWALL, TX 75087

> CURRENT RESIDENT 725 PETERS COLONY ROCKWALL, TX TX

HASS DANIEL & AMBER 801 PETERS COLONY ROCKWALL, TX 75087

FISHER JESSICA 803 PETERS COLONY ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST ROMAN FRANCISCO CANALES & ROSA MARIA ZAMORA MIRANDA-TRUSTEE P O BOX 291 FATE, TX 75132 CURRENT RESIDENT 708 PETERS COLONY ROCKWALL, TX TX

HOLLAND ROBIN 709 SHERMAN ST ROCKWALL, TX 75087

SANCHEZ FATIMA L 710 SHERMAN ST ROCKWALL, TX 75087

CURRENT RESIDENT 712 CLARK ROCKWALL, TX TX

CURRENT RESIDENT 712 SHERMAN ROCKWALL, TX TX

CURRENT RESIDENT 715 SHERMAN ROCKWALL, TX TX

ROCKWALL HOUSING DEV CORP A TEXAS NON-PROFIT CORP OF RW 787 HAIL DR ROCKWALL, TX 75032

> CURRENT RESIDENT 801 PETERS COLONY ROCKWALL, TX TX

ST PAUL AFRICAN METHODIST EPISCOPAL CHURCH 805 PETERS COLONY ROCKWALL, TX 75087

ROCKWALL SOUTHSIDE NEIGHBORHOOD COALITION C/O TONY RIOS PO BOX 1262 ROCKWALL, TX 75087 CURRENT RESIDENT 708 SHERMAN ROCKWALL, TX TX

HEARD RHODA MAE 710 DAVY CROCKETT ST ROCKWALL, TX 75087

CURRENT RESIDENT 711 LAMAR ROCKWALL, TX TX

BENNETT A L EST C/O OLIVER LINVELL 712 PETERS COLONY ROCKWALL, TX 75087

DENSON PATRICIA STRANGE 713 SHERMAN ST ROCKWALL, TX 75087

> CURRENT RESIDENT 716 SHERMAN ROCKWALL, TX TX

MATHIS MALCOLM AND CHRISTIE 801 LAMAR ST ROCKWALL, TX 75087

> SHAW JERRY GAIL 803 LAMAR ST ROCKWALL, TX 75087

> JOHNSON MELDRIA 809 DAVY CROCKETT ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY PO BOX 4 ROCKWALL, TX 75087 SMITH TIMOTHY PSC 3 BOX 5631 APO, AP 96266


To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-004: 705 Peters Colony

EMAIL: PLANNING@ROCKWALL.COM

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday**, **3/10/2020** at **6:00 p.m.**, and the City Council will hold a public hearing on **Monday**, **3/16/2020** at **6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Korey Brooks Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- - PLEASE RETURN THE BELOW FORM - - - - -

Case No. Z2020-004: 705 Peters Colony

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name:		
Address:		

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

























CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN **ESTABLISHED SUBDIVISION** TO ALLOW THE CONSTRUCTIN OF A SINGLE-FAMILY HOME ON A 0.11-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ambrocio Ibarra for the approval of a Specific Use Permit (SUP) to allow *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.11-acre parcel of land being described as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 705 Peters Colony, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 4, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the Subject Property; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 5, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The Development of the Subject Property shall generally conform to the <u>Residential Plot</u> <u>Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Construction of a single-family home on the Subject Property shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

 Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6^{TH} DAY OF APRIL, 2020.

	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, <i>City Attorney</i>	
1 st Reading: <u><i>March 16, 2020</i></u>	
2 nd Reading: <u>April 6, 2020</u>	
Z2020-004: SUP for 705 Peters Colony Page 3 Ordinance No. 20-XX; SUP # S-1XX	3 City of Rockwall, Texas

Exhibit 'A' Zoning Exhibit

<u>Address:</u> 705 Peters Colony <u>Legal Description:</u> Lot 1, Block A, Sanger Addition



Z2020-004: SUP for 705 Peters Colony Ordinance No. 20-XX; SUP # S-1XX

City of Rockwall, Texas

Exhibit 'B': Residential Plot Plan



Exhibit 'C': Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Ambricio Ibarra
CASE NUMBER:	Z2020-005; Specific Use Permit (SUP) for a Residential Infill for 703 Peters Colony

SUMMARY

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony, and take any action necessary.

BACKGROUND

The subject property was annexed prior to 1959, is zoned Single-Family 7 (SF-7) District, and is situated within the Southside Residential Neighborhood Overlay (SRO) District. On March 18, 2019, the City Council approved a replat for Lot 2, Block A, N. E. & J. O. Addition subdividing one (1) lot into two (2) lots for the construction of two (2) single-family homes. The subject property is currently vacant.

<u>PURPOSE</u>

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 2 (*i.e.* 703 Peters Colony) in accordance with Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision, of Article 04, Permissible Uses, of the Unified Development Code (UDC). This request is being made in conjunction with Case No. Z2020-004, which is a request for a Specific Use Permit (SUP) for the purpose of constructing a single-family home on Lot 1 (*i.e.* 705 Peters Colony).

ADJACENT LAND USES AND ACCESS

The subject property is located at 703 Peters Colony. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property there are three (3) single-family homes followed by E. Boydstun Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan. Beyond Boydstun Street there are several businesses (*i.e. Hello Gorgeous Salon, Children's Relief International, etc.*). These areas are zoned Single-Family 7 (SF-7) District and Planned Development District 42 (PD-42) for Residential-Office (RO) District land uses.
- <u>South</u>: Directly south of the subject property there are several single-family homes followed by E. Ross Street, which is identified as a *R2* (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan. Beyond this, there are several single-family homes that are zoned Single-Family 7 (SF-7) District.
- *East*: Directly east of the subject property is Lamar Street, which is identified as a *R*2 (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan. This street is followed by two (2) single-family homes. Beyond this is Sherman Street, which is identified as a *R*2 (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan, and beyond this are two (2) single-family homes. All of these areas are zoned Single-Family 7 (SF-7) District.

<u>West</u>: Directly west of the subject property is Peters Colony, which is identified as a *R*2 (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan. This street is followed by several single-family homes. Beyond this, is Davy Crockett Street, which is identified as a *R*2 (*residential, two* [2] *lane, undivided roadway*) on the Master Thoroughfare Plan. All of these areas are zoned Single-Family 7 (SF-7) District.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "…a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the Sanger Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Parks Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Peters Colony Between Boydstun Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Peters Colony and have a front-facing garages. The homes at the north end of Peters Colony which face E. Boydstun Avenue.	The front elevation of the home will face on to Peters Colony Street.
Year Built	1957-2005	N/A
Building SF on Property	823 SF – 1,375 SF	2,450 SF
Building Architecture	Various	Comparable Architecture to the Homes Built in 2005
Building Setbacks:		
Front	20-Feet	20-Feet (House Setback 30-Feet)
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	10-Feet
Building Materials	Wood, Masonite, and Cementitious Lap Siding and Brick	100% Brick
Paint and Color	White, Green, Blue, and Tan	Red with White Trim
Roofs	Composite Shingles	Composite Shingle
Driveways	The majority of the homes have front entry garages with two (2) of the homes having carports instead of garages.	Front entry Garage with front façade of the home being recessed 20-feet behind the garage door.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past and that the two (2) properties south of the subject property are configured in the same configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-

family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Peters Colony and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On February 25, 2020, staff notified 121 property owners and occupants within 500-feet of the subject property. There are no Homeowners Associations (HOA's)/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had not received any notices concerning this case.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the Subject Property shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the Subject Property shall generally conform to the Building Elevations depicted in *Exhibit* 'C' of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



City of Rockwall Planning & Zoning Department

385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com

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Case Number: Z2020-005 SUP for 703 Peters Colony Case Name: Case Type: Specific Use Permit **SF-7** Zoning: Case Address: 703 Peters Colony



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745 City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-005Case Name:SUP for 703 Peters ColonyCase Type:ZoningZoning:SUPCase Address:703 Peters Colony



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745

WRIGHT ALVIN (MR) MAIL RETURNED BY POST OFFICE

> SRIVEN VISTA LLC 10401 JACKSON HOLE LN MCKINNEY, TX 75070

STRANGE EMERSON JR 1521 NOVEL CT GARLAND, TX 75040

DALLAS-GARLAND & NORTHEASTERN RAILROAD C/O GENESEE & WYOMING RAILROAD 1940 ENCHANTED WAY 201 GRAPEVINE, TX 76051

> **OSORNIO JEANNIFFER AND** NOHEMA ESTRADA MACHARIGUE 2307 WHITE ROAD HEATH, TX 75032

> > LANIER FAMILY TRUST **304 E BOYDSTUN AVE**

315 ROLLING MEADOWS CIR ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D 402 E BOYDSTUN AVE ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS CHURCH 423 WILLOW RIDGE CIRCLE ROCKWALL, TX 75032

> CURRENT RESIDENT 507EBOYDSTUN ROCKWALL, TX 75087

GRUBBS JOHN W 501 E BOYDSTUN AVE ROCKWALL, TX 75087

HEAD TIM **510 MARIPOSA** ROCKWALL, TX 75087

PIERATT ALAN & MELODY 1540 MEADOWS CIR ROCKWALL, TX 75087

BALL JUSTIN 2155 CLUBVIEW DR ROCKWALL, TX 75087

HANEY W 2824 MISTY RIDGE ROCKWALL, TX 75032

DAVIDSON JEFFREY LEE & MELIZA IBARRA 304 E ROSS AVE ROCKWALL, TX 75087

> RANDOLPH JAMES R JR 3314 ANNA CADE RD ROCKWALL, TX 75087

CURRENT RESIDENT

403EBOYDSTUN

ROCKWALL, TX 75087

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HAMANN BRENT

CURRENT RESIDENT ROCKWALL, TX 75087

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SMITH CHARLES ELLIOT 1421 COASTAL DR ROCKWALL, TX 75087

NASUFI ZIKRI 1885 HILLCROFT DR ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC 2289 CR 643 NEVADA, TX 75173

WILLIAMS FREDDIE R & IO ANN **302 E BOYDSTUN AVE** ROCKWALL, TX 75087

KATELY CHARLES LEE & THELMA S 309 ANDERSON ST OAKDALE, LA 71463

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JONES MARGARINE ESTATE 410 E BOYDSTUN AVE ROCKWALL, TX 75087

> CURRENT RESIDENT 504ROSS ROCKWALL, TX 75087

PEREZ MARIA D 1002 E WOODIN BLVD DALLAS, TX 75126

JOHNSON PAMELA

1310 COLONY DR

GARLAND, TX 75040

JONES ELTON E & LINDA M 512 TERRY LN ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA 602 E BOYDSTUN AVE ROCKWALL, TX 75087

GENTRY GENEVA 605 BOST ST ROCKWALL, TX 75087

WILKERSON CLAUDE JR 606 SAINT MARY ST ROCKWALL, TX 75087

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SCHUMANN LAURIE A 610 E BOYDSTUN AVE ROCKWALL, TX 75087

CURRENT RESIDENT 611EBOYDSTUN ROCKWALL, TX 75087

GAMEZ DAVID 614 E BOYDSTUN AVE ROCKWALL, TX 75087

WOODARD JENNIFER 619 E BOYDSTUN AVE ROCKWALL, TX 75087

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ESPINOZA SYLVIA AND JOSEPH FABIAN PEREZ 604 ROSS STREET ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D 605 E ROSS STREET ROCKWALL, TX 75087

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613 E BOYDSTUN AVE ROCKWALL, TX 75087

615 E BOYDSTUN AVENUE ROCKWALL, TX 75032

621BOYDSTUNAVE ROCKWALL, TX 75087

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> MOORE JAMES L 604 S CLARK ROCKWALL, TX 75087

GAMEZ DAVID & PETRA 606 E BOYDSTUN AVE ROCKWALL, TX 75087

CURRENT RESIDENT 607SFANNIN ROCKWALL, TX 75087

CURRENT RESIDENT 609SFANNIN ROCKWALL, TX 75087

NONUS SHELLY REYNA AND THOMAS **611 FANNIN STREET** ROCKWALL, TX 75087

> TANNER TRUDY LEANN 613 S FANNIN ROCKWALL, TX 75087

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ROSS LESLIE 703 SHERMAN ST ROCKWALL, TX 75087

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> CURRENT RESIDENT 705PETERS COLONY ROCKWALL, TX 75087

CURRENT RESIDENT 706SCLARK ROCKWALL, TX 75087

ABARCA JOANNE 707 SHERMAN ST ROCKWALL, TX 75087

CURRENT RESIDENT 708PETERS COLONY ROCKWALL, TX 75087

HEJI PAUL M 709 PETERS COLONY ROCKWALL, TX 75087

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CURRENT RESIDENT 712CLARK ROCKWALL, TX 75087 HEARD OLLIE FAYE 704 DAVY CROCKETT ST ROCKWALL, TX 75087

MILLER ANNE 705 SAM HOUSTON ST ROCKWALL, TX 75087

WILLIAMS SHIRLEY B ETAL 706 DAVY CROCKETT ST ROCKWALL, TX 75087

CURRENT RESIDENT 706SHERMAN ROCKWALL, TX 75087

CURRENT RESIDENT 707SAM HOUSTON ROCKWALL, TX 75087

CURRENT RESIDENT 708SHERMAN ROCKWALL, TX 75087

HOLLAND ROBIN 709 SHERMAN ST ROCKWALL, TX 75087

CURRENT RESIDENT 710PETERS COLONY ROCKWALL, TX 75087

BENNETT A L EST C/O OLIVER LINVELL 712 PETERS COLONY ROCKWALL, TX 75087

CURRENT RESIDENT 712SHERMAN ROCKWALL, TX 75087 SCROGGINS MURRAY 704 SHERMAN ST ROCKWALL, TX 75087

CURRENT RESIDENT 705DAVY CROCKETT ROCKWALL, TX 75087

DABNEY AUDRY 706 PETERS COLONY ROCKWALL, TX 75087

CRENSHAW LORENZA 707 DAVY CROCKETT ST ROCKWALL, TX 75087

CURRENT RESIDENT 708DAVY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT 709 N SHERMAN ROCKWALL, TX 75087

HEARD RHODA MAE 710 DAVY CROCKETT ST ROCKWALL, TX 75087

ALLEN ETHEL JEAN 711 SHERMAN ST ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE 712 PETERS COLONY ROCKWALL, TX 75087

DENSON PATRICIA STRANGE 713 SHERMAN ST ROCKWALL, TX 75087 CABERA JUAN R & NOEMI E 715 PETERS COLONY ROCKWALL, TX 75087

> CURRENT RESIDENT 725PETERS COLONY ROCKWALL, TX 75087

HASS DANIEL & AMBER **801 PETERS COLONY** ROCKWALL, TX 75087

ST PAUL AFRICAN METHODIST **EPISCOPAL CHURCH 805 PETERS COLONY** ROCKWALL, TX 75087

> CURRENT RESIDENT CLARK ROCKWALL, TX 75087

> CURRENT RESIDENT DAVY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087

ROCKWALL SOUTHSIDE NEIGHBORHOOD COALITION C/O TONY RIOS PO BOX 1262 ROCKWALL, TX 75087

> SMITH TIMOTHY PSC 3 BOX 5631 APO, AP 96266

CITY OF ROCKWALL , 0

CURRENT RESIDENT 715SHERMAN ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP A TEXAS NON-PROFIT CORP OF RW 787 HAIL DR ROCKWALL, TX 75032

> SHAW JERRY GAIL 803 LAMAR ST ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC 900 HEATHLAND CROSSING HEATH, TX 75032

> CURRENT RESIDENT DAVEY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087

CANALES ZAMORA FAMILY TRUST **ROMAN FRANCISCO CANALES & ROSA MARIA** ZAMORA MIRANDA-TRUSTEE P O BOX 291 FATE, TX 75132

> PEOPLES BILLY W SR PO BOX 35 ROCKWALL, TX 75087

, 0

SLIGER S T MRS , 0

801 LAMAR ST ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE

FISHER JESSICA **803 PETERS COLONY** ROCKWALL, TX 75087

CURRENT RESIDENT BOURN ROCKWALL, TX 75087

CURRENT RESIDENT DAVY CROCKETT ROCKWALL, TX 75087

CURRENT RESIDENT EBOYDSTUN ROCKWALL, TX 75087

CURRENT RESIDENT PETERS COLONY ROCKWALL, TX 75087

ROCKWALL HABITAT FOR HUMANITY PO BOX 4 ROCKWALL, TX 75087

CITY OF ROCKWALL

CURRENT RESIDENT 716SHERMAN ROCKWALL, TX 75087 November 15, 2019

To whom it may concern:

The foundation plan, accompanied by this letter, for used only upon property described below:

Address:

703 Peters Colony St

Rockwall Tx

Foundation design criteria was formulated based on modifications of recommendations as set forth in criteria for selection and design of slab-on-ground (BRAB REPORT), WRI-CRSI-96, ACI 318-99, the 2006,2009,2012, and 2015 IRC, 2006, 2009,2012, and 2015 IBC, ACI 318, ASTM C94 and recognized engineering practices.

Sincerely,

J.S Barton, P.E. (F-10832)



























CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR RESIDENTIAL INFILL IN AN **ESTABLISHED SUBDIVISION** TO ALLOW THE CONSTRUCTIN OF A SINGLE-FAMILY HOME ON A 0.11-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK A, SANGER ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS: PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE: PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Ambrocio Ibarra for the approval of a Specific Use Permit (SUP) to allow *Residential infill in an Established Subdivision* to allow the construction of a single-family home on a 0.11-acre parcel of land being described as Lot 2, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 703 Peters Colony, and being more specifically depicted in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 4, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 5, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The Development of the Subject Property shall generally conform to the <u>Residential Plot</u> <u>Plan</u> as depicted in *Exhibit 'B'* of this ordinance.
- 2) The Construction of a single-family home on the Subject Property shall generally conform to the <u>Building Elevations</u> depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures,* of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

 Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.
PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6^{TH} DAY OF APRIL, 2020.

	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u>March 16, 2020</u>	
2 nd Reading: <u>April 6, 2020</u>	

Z2020-005: SUP for 703 Peters Colony Ordinance No. 20-XX; SUP # S-1XX

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City of Rockwall, Texas

Exhibit 'A' Zoning Exhibit

<u>Address:</u> 703 Peters Colony <u>Legal Description:</u> Lot 2, Block A, Sanger Addition



Z2020-005: SUP for 703 Peters Colony Ordinance No. 20-XX; SUP # S-1XX

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City of Rockwall, Texas

Exhibit 'B': Residential Plot Plan



Exhibit 'C': Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Greg Givens
CASE NUMBER:	Z2020-006; Specific Use Permit for Detached Garage for 2308 Saddlebrook Drive

<u>SUMMARY</u>

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a <u>Specific Use Permit</u> (<u>SUP</u>) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and take any action necessary.

BACKGROUND

The subject property was annexed in 1999 [*Ordinance No. 99-33*], is zoned Single-Family 16 (SF-16) District, and is addressed as 2308 Saddlebrook Lane. On November 11, 2001, the City Council approved a change in zoning [*Case No. PZ2008-102; Ordinance No. 01-102*] from an Agricultural (AG) District to a Single-Family 16 (SF-16) District for the Saddlebrook Estates #2 Addition. On October 21, 2002, the City Council approved a replat [*Case No. PZ2002-71-01*] for the Saddlebrook Estates #2 Addition.

<u>PURPOSE</u>

The applicant is requesting approval of a Specific Use Permit (SUP) to allow a detached garage that exceeds the maximum allowable size and number of accessory buildings for a property in a Single-Family 16 (SF-16) District.

ADJACENT LAND USES AND ACCESS

The subject property is located 2308 Saddlebrook Lane. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property there are several single-family homes located within the Saddlebrook Estates #2 Addition, followed by the corporate limits of the City of Rockwall. These homes are zoned Single-Family 16 (SF-16) District. Beyond this is E. Quail Run Road, which is identified as a M4U (*major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Following this, there is a large vacant tract of land zoned Agricultural (AG) District.
- South: Directly south of the subject property, are several single-family homes within the Saddlebrook Estates #2 Addition, which are zoned Single-Family 16 (SF-16) District, followed by the corporate limits of the City of Rockwall. Beyond this is FM-1141, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan.
- <u>East</u>: Directly east of the subject property there are several single-family homes within the Saddlebrook Estates #2 Addition, which are zoned Single-Family 16 (SF-16) District. Beyond this is FM-1141, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan and delineates the corporate limits of the City of Rockwall.

<u>West</u>: Directly west of the subject property are several single-family homes within the Saddlebrook Estates #2 Addition, which are zoned Single-Family 16 (SF-16) District. Beyond this are several single-family homes zoned Agricultural (AG) District followed by John King Boulevard, which is identified as a P6D (*principle arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting approval of a Specific Use Permit (SUP) for a detached garage that exceeds the maximum allowable size for properties located within a Single-Family 16 (SF-16) District. Currently situated on the subject property, there is a 3,400 SF brick single-family home and two (2) metal accessory buildings that are both approximately 200 SF each. The proposed building will be situated behind the main structure, will be 18-feet in height, and will be constructed of metal. The building will be a 24' x 40' (*i.e.* 1200 SF) detached garage and a 10' x 40' (*i.e.* 400 SF) porch that will be on the side of the building. The total footprint of the building will be 1,600 SF (*i.e.* 35% of the size of the home). The building will have one (1) roll-up door and two windows, and the applicant has stated that detached garage will be utilized to store vehicles (*i.e.* will not be used for commercial uses). Currently, there are two (2) metal accessory buildings on the subject property and the applicant has indicated that the intent is to remove one (1) of the buildings.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), in a Single-Family 16 (SF-16) District a detached garage is permitted by-right provided that it is no larger than 625 SF. A detached garage shall include a minimum of one (1) garage bay door large enough to accommodate a standard size motor vehicle, and shall be architecturally compatible with the primary structure. In addition, this section of the UDC limits the total number of accessory structures permitted in a Single-Family 16 (SF-16) District to two (2). In this case, the proposed detached garage will be 1,600 SF -- which exceeds the maximum allowable size of a detached garage by 975 SF -- and if approved will be the third accessory structure permitted on the property. The proposed detached garage will incorporate a roll-up door that appears to be large enough to accommodate a standard passenger vehicle; however, the proposed building will be constructed out of metal as opposed to utilizing similar or complimentary materials as the primary structure. In this case, the Planning and Zoning Commission and City Council are tasked with determining if the proposed building will be architecturally compatible with the primary structure, and if the size of the detached garage is appropriate on the subject property. Another consideration will be the proposed number of accessory structures compared to what has been constructed on other properties in the subdivision.

STAFF ANALYSIS

When looking at the applicant's request, it was observed that a large majority of property owners (i.e. 26 of the 44 homes or roughly 60%) currently have a detached garages and/or accessory buildings on their properties. Of the existing accessory buildings within the Saddlebrook Estates #2 Addition, several are roughly the same size or larger than (*i.e. 900-1,300 SF*) the proposed detached garage. It should be noted that most of the accessory buildings that are visible from the street utilize exterior materials similar to the main structure (*i.e.* a combination of brick and cementitious lap siding). Staff was able to determine that 30 building permits have been issued for accessory buildings within the Saddlebrook Estates #2 Addition and 27 of the permits are still active (i.e. not expired, voided, or withdrawn). A vast majority of the permits were issued between 2002 (i.e. shortly after this area was annexed) and 2009. Given that a majority of the surrounding homes have a detached garage, an accessory building, and/or a portable building approval of this request does not appear to negatively impact the subject property or surrounding properties. With that being said, when looking at this request the Planning and Zoning Commission should consider the number of existing buildings on the property along with the size and architecture of the proposed detached garage. Specifically, the proposed accessory building will be nearly $\frac{1}{2}$ the size (*i.e.* 47%) of the existing home on the subject property and the Planning and Zoning Commission could request that the applicant provide compensatory measures such as additional architectural elements, providing masonry matching the main structure, or additional landscaping. Staff should also point out that a similar request in terms of size and material was made by the property owner at 2340 Saddlebrook Lane (Case No. Z2019-022) that was denied under the same rules. With all of this being said, approval of a Specific Use Permit (SUP) is a discretionary decision on a case-by-case basis for the City Council, pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 24, 2020, staff mailed 21 notices to owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOA's)/Neighborhood Associations within 1,500 of the subject property that are participating in the Neighborhood Notification Program. At the time this report was written, staff had received one (1) notice and one (1) email in opposition to this request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The detached garage shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the attached ordinance.
 - (b) The detached garage shall not exceed a maximum size of 1,600 SF.
 - (c) The detached garage shall not exceed an overall height of 18-feet.
 - (d) The subject property shall not have more than two (2) accessory buildings.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-006Case Name:2308 Saddlebrook LaneCase Type:Specific Use PermitZoning:SF-10Case Address:2308 Saddlebrook Lane



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-006Case Name:SUP for 2308 Saddlebrook LaneCase Type:Specific Use PermitZoning:SF-16Case Address:2308 Saddlebrook Lane



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745 DUNCAN BRYAN AND BEVERLY 2389 SADDLEBROOK LN ROCKWALL, TX 75087

WHISENHUNT BARRY I & JOYCE D 2381 SADDLEBROOK LN ROCKWALL, TX 75087

NOTEWISE INVESTMENTS LLC 3615 BROADWAY BLVD SUITE B GARLAND, TX 75043

DEFEBAUGH WALTER W & DAWN A 2380 SADDLEBROOK LN ROCKWALL, TX 75087

BARON JEFFREY MICHAEL & JEANNE MARIE 2324 SADDLEBROK LANE ROCKWALL, TX 75087

THORMAHLEN KARL M SR & ETUX 2392 SADDLEBROOK LN ROCKWALL, TX 75087

FLEMING DONALD CHARLES LIV TR DONALD CHARLES FLEMING TRUSTEE 2397 SADDLEBROOK LN ROCKWALL, TX 75087 DIETRICH SHELLEY L & DAROLD T 2393 SADDLEBROOK LN ROCKWALL, TX 75087

ROMERO MARGARET ALLEN-2313 SADDLEBROOK LANE ROCKWALL, TX 75087

TAYLOR BRANDON G & AMANDA H 2320 SADDLEBROOK LN ROCKWALL, TX 75087

> GRAY RYAN D AND MARISA C 2384 SADDLEBROOK LN ROCKWALL, TX 75087

PUTCHINSKI PAUL & SHANNON 2385 SADDLEBROOK LANE ROCKWALL, TX 75087

MINNICH SHAWN C & WENDY A 2396 SADDLEBROOK LN ROCKWALL, TX 75087

MURPHEY HARVEY W & BETTY J 2304 SADDLEBROOK LN ROCKWALL, TX 75087 ARENAS SEVERIANO & KRISTI L 2377 SADDLEBROOK LN ROCKWALL, TX 75087

SMITH WILLIAM CLEVE JR & EDITH LILLIAN 2312 SADDLEBROOK LN ROCKWALL, TX 75087

JONES JAMES E 2309 SADDLEBROOK LN ROCKWALL, TX 75087

OSBORNE AARON & BARBARA 2305 SADDLEBROOK LANE ROCKWALL, TX 75087

CALLICOATT GEORGE & JUDY 2388 SADDLEBROOK LN ROCKWALL, TX 75087

CULP TERRI L 2301 SADDLEBROOK LN ROCKWALL, TX 75087

VASUNDHARA REDDY K AND ALEX R FREEMAN 100 N CENTRAL EXPWY SUITE 1008 RICHARDSON, TX 75080



To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-006: 2308 Saddlebrook Lane

EMAIL: PLANNING@ROCKWALL.COM

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday**, **3/10/2020** at **6:00 p.m.**, and the City Council will hold a public hearing on **Monday**, **3/16/2020** at **6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Korey Brooks Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE: HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - · - ·

Case No. Z2020-006: 2308 Saddlebrook Lane

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-006Case Name:SUP for 2308 Saddlebrook LaneCase Type:Specific Use PermitZoning:SF-16Case Address:2308 Saddlebrook Lane



Date Created: 2/19/2020 For Questions on this Case Call (972) 771-7745

From:	Greg & Jennifer Givens
Sent:	Friday, February 14, 2020 12:16 PM
То:	Brooks, Korey
Subject:	Detached garage

Good morning Korey, My name is Greg Givens I live at 2308 Saddlebrook Lane within the City of Rockwall. I am also employed by the Rockwall Fire Department email <u>ggivens@rockwall.com</u>. I spoke with Rusty and you about building a detached garage on my property, oversized 30x40 1,200 sq. feet and height of 18 feet. I will be submitting my pre-application today to begin the process.

I wanted to give you some information regarding the materials I plan to use on the project.

10 inch I beams

8 inch I beams

Broke eve strut 11 gauge

8 inch purling 14 gauge

8 inch C purling

All exterior walls, roof and trim 26 gauge R panel with 30 year paint warranty.

1 inch closed cell spray on installation.

The building will be sitting on a concrete foundation with a concrete driveway leading up to the building.

The building will also be sitting behind a 6 foot wooden fence with a sliding gate.

If any further information is needed please contact me either by phone ,text or email.

I also have dropped off the following:

Conceptual drawing

Site Plan

Wiring and lighting drawing

Thank you in advance for the Cities time and the Planning and zonings time to consider my project.

Thanks,

Greg Givens





22020=006



at -of 0 b 6" J 4-0" ap. 4-6 4'-6" 4 4 An' U" 12'-0" 30'-0" 31-0" 12'-0" CCALE 1/4"= 1-0" POCKWELL, TX FLOOR PLAN 30'x 40' 2308 GADPLE BROOK LANE

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW A DETACHED GARAGE THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE AND HEIGHT ON A ONE (1) ACRE PARCEL OF LAND, IDENTIFIED AS LOT 2, BLOCK B, SADDLEBROOK ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; **PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN** EFFECTIVE DATE.

WHEREAS, the City has received a request from Greg Givens for the approval of a Specific Use Permit (SUP) to allow a *detached garage* that exceeds the maximum allowable size and height on a one (1) acre parcel of land being described as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane, and being more specifically depicted in *Exhibit* 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *detached garage* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *detached garage* on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) The detached garage shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B'* & 'C' of this ordinance.
- 2) The detached garage shall not exceed a maximum size of 1,200 SF.
- 3) The detached garage shall not exceed an overall height of 18-feet.
- 4) The subject property shall not have more than four (4) accessory buildings.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6TH DAY OF APRIL, 2020.

Jim Pruitt, Mayor

Page | 2

ATTEST:

Kristy Cole, City Secretary

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: <u>March 16, 2020</u>

2nd Reading: <u>April 6, 2020</u>

Exhibit 'A' Zoning Exhibit

<u>Address:</u> 2308 Saddlebrook Lane <u>Legal Description:</u> Lot 2, Block B, Saddlebrook Estates #2 Addition



City of Rockwall, Texas

Exhibit 'B': Concept Plan



Exhibit 'C': Conceptual Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
FROM:	Ryan Miller, Director of Planning and Zoning
DATE:	March 10, 2020
SUBJECT:	Z2020-007; Amendment to the Fence Standards for Existing and Infill Single-Family and Duplex Properties Contained in Article 08, Landscape and Fence Standards, of the UDC

On January 21, 2020, the City Council held a work session to discuss the fence standards. At this work session the City Council directed staff to make the following changes to Section 08.03(B), *Fence Standards for Existing and Infill Single-Family and Duplex Properties*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC):

- (1) Remove the language requiring fences be constructed with a decorative top rail and/or cap.
- (2) Remove the language requiring fences be stained and sealed on both sides of the fence.
- (3) Change the standards to allow the framing to be placed on the public side when adjacent to an alleyway.
- (4) Remove the language requiring fences be free of burs and splinters.
- (5) Remove the language requiring fences be constructed with ½-inch or greater fencing material.

Based on this direction staff is proposing to change this section of the ordinance to read:

Removed Language

All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side and all posts and/or framing shall be placed on the private side when adjacent to a public street (*excluding alleyway*), open space, public park, and/or neighboring properties. -(i.e. facing streets, alleys, open space, parks, and/or neighboring properties). All posts and/or framing shall be placed on the private side (i.e. facing towards the home) of the fence. All wood fences shall be smooth finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.

In accordance, with Section 02.04(B) of Article 11, *Development Applications and Review Procedures*, of the UDC staff is bringing the proposed amendment forward to the Planning and Zoning Commission for a recommendation to the City Council. Attached to this case memo is a draft ordinance outlining the proposed changes. The schedule for this text amendment is as follows:

Planning and Zoning Commission Public Hearing: March 10, 2020 City Council Public Hearing/1st Reading: March 16, 2020 City Council 2nd Reading: April 6, 2020

Staff has sent out a 15-day notice to the Rockwall Herald Banner in accordance with all applicable state laws and Section 02.03(A)(3) of Article 11, *Development Applications and Review Procedures*, of the UDC. Should the Planning and Zoning Commission have any questions staff will be available at the meeting on <u>March 10, 2020</u>.

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, BY AMENDING SECTION 08.03(B), FENCE STANDARDS FOR EXISTING AND INFILL SINGLE-FAMILY AND DUPLEX PROPERTIES, OF ARTICLE 08, LANDSCAPE AND FENCE STANDARDS, AS DEPCITED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, an amendment to the City of Rockwall's Unified Development Code [Ordinance No. 20-02] has been initiated by the City Council of the City of Rockwall to amend Section 08.03(b), Fence Standards for Existing and Infill Single-Family and Duplex Properties, of Article 08, Landscape and Fence Standards, of the Unified Development Code [Ordinance No. 20-02]; and,

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the city's corporate boundaries, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That Section 08.03(b), *Fence Standards for Existing and Infill Single-Family and Duplex Properties*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended as specifically described in *Exhibit* 'A' of this ordinance;

SECTION 2. That any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 3. That if any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code [*Ordinance No. 04-38*], and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable;

SECTION 4. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6^{TH} DAY OF APRIL, 2019.

	Jim Pruitt, <i>Mayor</i>
ATTEST:	
Kristy Cole, City Secretary	_
APPROVED AS TO FORM:	
Frank J. Garza, City Attorney	
1 st Reading: <u>March 16, 2020</u>	
2 nd Reading: <u>April 6, 2020</u>	
Z2020-007: Section 08.03(B); Article 08; Ordinance No. 20- <mark>XX</mark> ;	UDC Page 2 City of Rockwall, Texas

Exhibit 'A'

Section 08.03(B), Fence Standards for Existing and Infill Single-Family and Duplex Properties, of Article 08, Landscape and Fence Standards, of the Unified Development Code (UDC)

Additions: Highlighted Deletions: Highlighted, Strikeout

All solid fencing shall be constructed utilizing standard cedar fencing materials (*spruce fencing is prohibited*) that are a minimum of ½-inch or greater in thickness. Fences shall be constructed a minimum of six (6) feet in height and a maximum of eight (8) feet in height. Posts, fasteners, and bolts shall be formed from hot dipped galvanized or stainless steel. All cedar pickets shall be placed on the public side and all posts and/or framing shall be placed on the private side when adjacent to a public street (*excluding alleyway*), open space, public park, and/or neighboring properties.-(i.e. facing streets, alleys, open space, parks, and/or neighboring properties). All posts and/or framing shall be placed on the private side (i.e. facing towards the home) of the fence. All wood fences shall be smooth-finished, free of burs and splinters, and be stained and sealed on both sides of the fence. Painting a fence with oil or latex based paint shall be prohibited. All solid fences shall incorporate a decorative top rail and/or cap detailing the design of the fence.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Scott Mommer; Lars Andersen & Associates, Inc.
CASE NUMBER:	Z2020-008; Specific Use Permit (SUP) for the Rental, Sales, and Service of Heavy Machinery and Equipment

SUMMARY

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales and Service of Heavy Machinery and Equipment* in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

BACKGROUND

The subject property was annexed in 1960 [Ordinance No. 60-03], is zoned Commercial (C) District, and is situated within the IH-30 Overlay (IH-30 OV) District. On July 21, 1997, the City Council approved a preliminary plat [Case No. PP1997-042] for the subject property. On August 18, 1997, the City Council approved a site plan [Case No. PZ1997-051-01 & PZ1997-051-02] and a final plat for a home improvement store (*i.e. Home Depot*) on the subject property. In September 2019, the applicant submitted a request for approval of a site plan to allow the expansion of the existing building. At that time, the applicant was proposing to utilize the expansion as a tool rental facility (*i.e. rental of power drills, saws, and sanders*). In addition, the applicant proposed to utilize a portion of the parking lot for the *Rental, Sales, and Service of Heavy Machinery and Equipment*, which at that time was not permitted in the Commercial (C) District. In response to this, the applicant requested that the City Council amend the Article 04, *Permissible Uses*, of the Unified Development Code (UDC) to allow the *Rental, Sales, and Service of Heavy Machinery and Equipment* in a Commercial (C) District, and on November 4, 2019 the City Council directed staff to make changes to the UDC to allow the land use by Specific Use Permit (SUP) in a Commercial (C) District. On January 6, 2010, the City Council approved *Ordinance No. 19-46* making the changes. On January 23, 2020, an administrative site plan to allow the expansion of the existing home improvement store was approved.

<u>PURPOSE</u>

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales, and Service of Heavy Machinery and Equipment* in conjunction with an existing home improvement store (*i.e. Home* Depot) on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located 765 E. IH-30. The land uses adjacent to the subject property are as follows:

<u>North</u>: Directly north of the subject property is IH-30, which is identified as a *TXDOT6D* (*Texas Department of Transportation, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this, there are several commercial businesses (*i.e. Wal-Mart Supercenter, Starbucks, etc.*). Following this, is Yellow Jacket Lane, which is identified as a *M4D* (*major collector, four [4] lane divided roadway*) on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District.

- <u>South</u>: Directly south of the subject property there is a financial institution (*i.e. Home Bank*) and a minor auto repair garage (*i.e. Christian Brothers Automotive*). Following this is W. Ralph Hall Parkway, which is identified as a *M4D (major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare plan. Beyond this, there is a single-family residential subdivision (*i.e. Lynden Park Estates, Phase 1A Subdivision*) followed by Market Center Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. These areas are zoned Commercial (C) District and Planned Development District 17 (PD-17) for single-family detached land uses.
- <u>East</u>: Directly east of the subject property, there is a veterinary clinic (*i.e. Lakeside Veterinary Clinic*), a shopping center (*i.e. Rockwall Market Center East*), and an educational institution (*i.e. Amanda Rochell Elementary School*). Following this, is Mims Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this, there is a shopping center (*i.e. Rockwall Crossing*). These areas are zoned Commercial (C) and Agricultural (AG) District.
- <u>West</u>: Directly west of the subject property, there is a restaurant (*i.e. On the Border*) followed by Market Center Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan. Beyond this, there is a shopping center (*i.e. Rockwall Market Center*) and a house of worship (*i.e. Lake Pointe Church*) followed by a hotel (*i.e. La Quinta Inn*) and several commercial businesses (*i.e. Soulman's Barbeque, Applebee's, etc.*). These areas are zoned Commercial (C) District.

CHARACTERISTICS OF THE REQUEST

The applicant is requesting the approval of a Specific Use Permit (SUP) to allow the *Rental, Sales, and Service of Heavy Machinery and Equipment* in conjunction with an existing home improvement store (*i.e. Home Depot*). The applicant is proposing to utilize ten (10) parking spaces adjacent to the southern property line (*i.e. on the side of the store*). In conjunction with this request, the applicant is proposing to expand the existing store to accommodate a tool rental facility (*i.e. rental of power drills, saws, electric sanders*). The applicant is proposing to utilize a combination of a wrought-iron fence and three (3)tiered landscape screening (*i.e. consisting of a combination of canopy trees, shrubs, and accent trees*) to screen the proposed outdoor equipment storage area.

CONFORMANCE WITH THE CITY'S CODES

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) the *Rental, Sales, and Service of Heavy Machinery and Equipment* is permitted an ancillary use to a general retail store with a Specific Use Permit (SUP) in a Commercial (C) District. All outside storage of equipment and machinery shall be visibly screened from all adjacent properties utilizing one (1) of the screening alternatives stipulated by Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC). The storage areas for equipment and machinery shall not occupy any required parking spaces and the storage and/or display of machinery shall be in a stowed position so as to not extend any part of the equipment or machinery in an upward or outward manner. The Unified Development Code (UDC) prohibits maintenance or service of any equipment and machinery. Specifically, the proposed facility is an ancillary use to the existing home improvement store. The applicant is proposing to provide landscape screening consisting of a wrought iron fence completely enclosing the area and a combination of canopy trees, accent trees, and shrubs that will be adjacent to three (3) sides of the enclosure (*i.e. adjacent to the south, west and eastern sides*). The applicant has provided a concept plan that appears to conform to these requirements. Staff should also note that the removal of the parking spaces along the southern property line will not affect the properties conformance to the parking standards, and that the site will be sufficiently parked for the current land use.

STAFF ANALYSIS

When looking at the applicant's request, to allow the *Rental, Sales, and Service of Heavy Machinery and Equipment* in a Commercial (C) District, the applicant appears to be conforming with the <u>Conditional Land Use Standards</u> contained in Section 02, *Conditional Land Use Standards* and Definitions, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). The Planning and Zoning Commission is charged with determining if the proposed request will negatively impact the subject property and the surrounding properties. Additionally, staff should note that the subject property is located within the IH-30 Overlay (IH-30 OV) District, which is a heavily travelled district; however, the storage of the heavy equipment will be located at the rear of the property and should not be visible from IH-30. The location will be highly visible from Market Center Drive and

Rochell Court, but the proposed three (3) tiered screening should mitigate the negative impacts of the proposed storage. Based on this, the applicant's request does not appear to negatively impact the subject property or surrounding properties; however, approval of this request is a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 25, 2020, staff mailed 53 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lynden Park Homeowner's Association, which is the only Homeowner's Association (HOA)/Neighborhood Association located within 1,500-feet of the subject property and is participating in the Neighborhood Notification Program. At the time this case memo was written, staff had not received any notices concerning this request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) All outside rental, sales, and service of heavy machinery and equipment shall conform to the concept plan depicted in *Exhibit 'B'* of the attached ordinance.
 - (b) The outside storage area depicted in *Exhibit 'B'* of this ordinance shall be screened in accordance with the screening requirements stipulated by the Unified Development Code (UDC). An amended site plan showing conformance to these screening requirements shall be submitted and approved by the Planning and Zoning Commission prior to the establishment of this land use.
 - (c) The outside storage of machinery and equipment shall <u>only</u> be stored in the area depicted in *Exhibit* 'B' of this ordinance and labeled as *Proposed THD Equipment Rental* (10 Stalls).
 - (d) The equipment and machinery stored in the outside storage area depicted in *Exhibit 'B'* of this ordinance be stowed in a position so as to not extend any part of the equipment or machinery in an upward or outward manner.
 - (e) This Specific Use Permit (SUP) shall not be construed to permit the outside storage of equipment and machinery for outside display, nor does it permit additional outside storage of other materials that are not associated with the *Rental, Sales, and Service of Heavy Machinery* land use.
 - (f) Maintenance and/or service of any equipment and/or machinery shall not be performed on site.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

	DEVELOPMENT APPLICAT City of Rockwall Planning and Zoning Department 385 S. Goliad Street Rockwall, Texas 75087		STAFF USE ONLY PLANNING & ZONING CASE NO. <u>NOTE:</u> THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW. DIRECTOR OF PLANNING: CITY ENGINEER:
Platting Applicatio [] Master Plat (\$1 [] Preliminary Plat [] Final Plat (\$300 [] Replat (\$300.00 [] Amending or M [] Plat Reinstatem Site Plan Applicatio [] Site Plan (\$250.	00.00 + \$15.00 Acre) ¹ t (\$200.00 + \$15.00 Acre) ¹ .00 + \$20.00 Acre) ¹) + \$20.00 Acre) ¹ linor Plat (\$150.00) nent Request (\$100.00)	Zoning [] Zon [X] Spe [] PD Other A [] Tre [] Var Notes: ¹ : In deta	ng Application Fees: poning Change (\$200.00 + \$15.00 Acre) ¹ pocific Use Permit (\$200.00 + \$15.00 Acre) ¹ D Development Plans (\$200.00 + \$15.00 Acre) ¹ r Application Fees: ree Removal (\$75.00) ariance Request (\$100.00)
PROPERTY INFO	RMATION [PLEASE PRINT] 765 East I-30, Rockwall, TX 750	87	
Subdivision General Location	Home Depot - Rockwall Addition Interstate 30 & Market Center Dr	ive	Lot ¹ Block ^A

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning	oning Commercial (C) District		Current Use	Commercial	
Proposed Zoning	Commercial (C) Di	istrict	Proposed Use	Commercial	
Acreage	11.390	Lots [Current]	1	Lots [Proposed]	1

[] SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of <u>HB3167</u> the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

[] Owner	Home Depot U.S.A., Inc.	[X] Applicant	Lars Andersen & Associates, Inc.
Contact Person	Suzanne Russo	Contact Person	Scott Mommer
Address	2455 Paces Ferry Road	Address	4694 W. Jacquelyn Avenue
City, State & Zip	Atlanta, GA 30339	City, State & Zip	Fresno, CA 93722
Phone	+1 (770) 384-2406	Phone	559-978-7060
E-Mail	Suzanne_Russo@homedepot.com	E-Mail	smommer@larsandersen.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Suzanne Russo	[Owner] the undersigned,	who stated	the information of	on
this application to be true and certified the following:				

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$_______, to cover the cost of this application, has been paid to the City of Rockwall on this the <u>4h</u> day of <u>February</u>, 20 <u>10</u>. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the <u>4</u> th day of <u>February</u> , 20 <u>20</u> .	TRACEE BATCHELOR Notary Public, Georgia
Owner's Signature Sugarne Ruddo	Gwinnett County My Commission Expires September 09, 2022
Notary Public in and for the State of Texas Macce Batchelor	My Commission Expires

DEVELOPMENT APPLICATION • CITY OF ROCKWALL • 385 SOUTH GOLIAD STREET • ROCKWALL, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7727





Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-008Case Name:SUP for Home DepotCase Type:Specific Use PermitZoning:Commercial (C)Case Address:765 E. I-30



Date Created: 2/21/2020 For Questions on this Case Call (972) 771-7745

Gamez, Angelica

From: Sent: Subject: Attachments: Gamez, Angelica Friday, February 28, 2020 10:30 AM Neighborhood Notification program PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf; PUBLIC NOTICE.pdf

To whom it may concern:

Per your participation in the Neighborhood Notification Program, you are receiving this notification to inform your organization and residents of a request for a zoning change that lies within 1,500 feet of the boundaries of your neighborhood or subdivision. As the primary contact for the organization, you are encouraged to share this information with the residents of your subdivision. Please find attached a map detailing the location of the subject property requesting the zoning change in relation to your subdivision boundaries. Additionally, below is a summary of the zoning request that will also be published in the Rockwall Herald Banner *February 28, 2020*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, March 10, 2020 at 6:00 p.m.*, and the City Council will hold a public hearing on *Monday, March 16, 2020 at 6:00 p.m.*. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street. If you have any questions or comments regarding this request, the contact information for the Planning Department is listed below. Additional information can also be found at https://sites.google.com/site/rockwallplanning/development-cases.

Z2020-001 Zoning Change from Agricultural (AG) District to a Single Family 1 (SF-1) District Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Zoning Change from an Agricultural (AG) District to a Single-Family 1 (SF-1) District for a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, addressed as 844 Zion Hill Circle.

Z2020-002 SUP for Residential Infill for 702 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 8, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 702 Parks Avenue.

Z2020-003 SUP for Residential Infill for 610 Parks Avenue

Hold a public hearing to discuss and consider a request by Reese Baez on behalf of the owner Amanda Henry for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.161-acre parcel of land identified as Lot 7, Block D, Foree Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 610 Parks Avenue.

Z2020-004 SUP for Residential Infill for 705 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 705 Peters Colony.

Z2020-005 SUP for Residential Infill for 703 Peters Colony

Hold a public hearing to discuss and consider a request by Ambrocio Ibarra on behalf of the owners Arturo and Jeaniffer Osornio for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for

the purpose of constructing a single-family home on a 0.11-acre parcel of land identified as Lot 1, Block A, Sanger Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 703 Peters Colony.

Z2020-006 SUP for an Accessory Building

Hold a public hearing to discuss and consider a request by the owner Greg Givens for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum size requirements on a one (1) acre parcel of land identified as Lot 2, Block B, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2308 Saddlebrook Lane.

Z2020-007 Text Amendment to Article VIII, Landscape and Screening

Hold a public hearing to discuss and consider a request for the approval of a Text Amendment to amend Article 08, Landscape and Screening, of the Unified Development Code (UDC) for the purpose of changing the fence standards for existing and infill single-family and duplex properties.

Z2020-008 SUP to allow Rental, Sales and Service of Heavy Machinery and Equipment

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30.

If this email is reaching you in error, please forward it to your HOA or neighborhood group representative and update the contact information at <u>http://www.rockwall.com/planning/hoa.asp</u>.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator City of Rockwall 972.771.7745 Office 972.772.6438 Direct http://www.rockwall.com/planning/

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-008Case Name:SUP for Home DepotCase Type:Specific Use PermitZoning:Commercial (C)Case Address:765 E. I-30



Date Created: 2/21/2020 For Questions on this Case Call (972) 771-7745
ROCKWALL I S D , 0

CURRENT RESIDENT FI30 ROCKWALL, TX 75032

CURRENT RESIDENT **108 SOUTHAMPTON** ROCKWALL, TX 75032

FERRARO TERESA M **115 SOUTHAMPTON DRIVE** ROCKWALL, TX 75032

BT CAYMAN LLC 12801 N CENTRAL EXPY SUITE 1675 DALLAS, TX 75243

GREAT AMERICAN RESORTS INC 1917 ARROYO RD DALHART, TX 79022

222 ROBERT ROSE DRIVE MURFREESBORO, TN 37129

WALKER I REALTY INC C/O CHARLES F WALKER 3404 MARQUETTE ST DALLAS, TX 75225

SCHULER JACK W TRUSTEE 5900 S. LAKE FOREST DR. STE 295 MCKINNEY, TX 75070

> CURRENT RESIDENT 615 WHITE HILLS ROCKWALL, TX 75032

CURRENT RESIDENT 130 ROCKWALL, TX 75032

CURRENT RESIDENT 105 RALPH HALL ROCKWALL, TX 75032

SMITH NICHOLAS & JESSICA ESQUIVEL **111 SOUTHAMPTON DRIVE** ROCKWALL, TX 75032

FADILI TONY AND NAIMA DARRAOUI **119 SOUTHAMPTON DR** ROCKWALL, TX 75032

> CURRENT RESIDENT 129ERALPH HALL ROCKWALL, TX 75032

WESTMARK HARRIS REAL ESTATE INVESTMENTS LLC ATTN: MARK FRIEDMAN 200 CONGRESS UNIT 46TX AUSTIN, TX 78701

> CURRENT RESIDENT 225ERALPH HALL ROCKWALL, TX 75032

4400 TEMECULA CREEK TRAIL MCKINNEY, TX 75070

> CURRENT RESIDENT 609 WHITE HILLS ROCKWALL, TX 75032

SHEPHERD PLACE HOMES INC 620 ROWLETT RD GARLAND, TX 75043

CURRENT RESIDENT RALPH HALL ROCKWALL, TX 75032

CURRENT RESIDENT **105 SOUTHAMPTON** ROCKWALL, TX 75032

CURRENT RESIDENT **114 SOUTHAMPTON** ROCKWALL, TX 75032

CURRENT RESIDENT **123 SOUTHAMPTON** ROCKWALL, TX 75032

UNDERWOOD ARCHIE HARBERT 15180 COUNTY ROAD 4009 **MABANK, TX 75147**

COLE OB ROCKWALL TX LLC C/O OTB ACQUISITION LLC 2201 W ROYAL LANE SUITE 240 **IRVING, TX 75063**

ROCKWALL DUNHILL LLC 3100 MONTICELLO AVENUE SUITE 300 DALLAS, TX 75205

609 WHITE HILLS LTD C /O TACO BUENO RESTAURANTS INC 4515 LYNDON B JOHNSON FWY DALLAS, TX 75244

> CURRENT RESIDENT 610 WHITE HILLS ROCKWALL, TX 75032

SAYED PROPERTY MANAGEMENT LLC 7008 MILLS BRANCH CIR PLANO, TX 75024

INVEZA GROUP LLC

NHI-REIT OF TX-IL LLC

CURRENT RESIDENT 726 I30 ROCKWALL, TX 75032

CURRENT RESIDENT 765 I30 ROCKWALL, TX 75032

CURRENT RESIDENT 779 HAIL ROCKWALL, TX 75032

CURRENT RESIDENT 782 I30 ROCKWALL, TX 75032

CURRENT RESIDENT 788 HAIL ROCKWALL, TX 75032

CURRENT RESIDENT 823 I30 ROCKWALL, TX 75032

HD DEVELOPMENT PROPERTIES LP PROPERTY TAX DEPT #0531 PO BOX 105842 ATLANTA, GA 30348

> WAL-MART REAL ESTATE BUSINESS TRUST PO BOX 8050 BENTONVILLE, AR 72712

CURRENT RESIDENT 747EI30 ROCKWALL, TX 75032

CURRENT RESIDENT 775 HAIL ROCKWALL, TX 75032

LENA INVESTMENT INC 779 MOUNTCASTLE DR ROCKWALL, TX 75087

CURRENT RESIDENT 783 HAIL ROCKWALL, TX 75032

CURRENT RESIDENT 801EI30 ROCKWALL, TX 75032

CURRENT RESIDENT 899 TUBBS ROCKWALL, TX 75032

KOHLS ILLNOIS INC PO BOX 2148 MILWAUKEE, WI 53201

HOMEBANK at PO BOX 909 SEAGOVILLE, TX 75159 SEVEN26 PROPERTIES LLC 750 E I-30 SUITE 105 ROCKWALL, TX 75087

CURRENT RESIDENT 776 I30 ROCKWALL, TX 75032

CURRENT RESIDENT 781 HAIL ROCKWALL, TX 75032

ROCKWALL HOUSING DEV CORP A TEXAS NON-PROFIT CORP OF RW 787 HAIL DR ROCKWALL, TX 75032

> CURRENT RESIDENT 819EI30 ROCKWALL, TX 75032

ARC BFRKWTX001 LLC C/O ED RYBURN CMI SENIOR TAX SPECIALIST BRIDGESTONE AMERICAS HOLDING INC 535 MARRIOTT DR 9TH FLOOR NASHVILLE, TN 37214

> MURPHY OIL USA INC PO BOX 7300 EL DORADO, AR 71731

City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75087 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Case Number:Z2020-008Case Name:SUP for Home DepotCase Type:Specific Use PermitZoning:Commercial (C)Case Address:765 E. I-30



Date Created: 2/24/2020 For Questions on this Case Call (972) 771-7745



To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-008: Home Depot

EMAIL: PLANNING@ROCKWALL.COM

Hold a public hearing to discuss and consider a request by Scott Mommer of Lars Andersen & Associates, Inc. on behalf of Suzanne Russo of Home Depot USA, Inc. for the approval of a Specific Use Permit (SUP) to allow the Rental, Sales and Service of Heavy Machinery and Equipment in conjunction with an existing general retail store on an 11.389-acre parcel of land identified as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 765 E. IH-30, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday**, **3/10/2020** at **6:00 p.m.**, and the City Council will hold a public hearing on **Monday**, **3/16/2020** at **6:00 p.m.** These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Korey Brooks Rockwall Planning and Zoning Dept. 385 S. Goliad Street Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by 3/16/2020 to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP Director of Planning & Zoning





MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:

HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES

- · - PLEASE RETURN THE BELOW FORM - · - ·

Case No. Z2020-008: Home Depot

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

N	2	n	۰.	Δ	٠
	a			c	

Address:

<u>Tex. Loc. Gov. Code, Sec. 211.006 (d)</u> If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Legal Description

LOT 1, BLOCK A, FINAL PLAT HOME DEPOT – ROCKWELL ADDITION, A SUBDIVISION IN ROCKWALL COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN SLIDE D, PAGE 57 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.



Project Description Equipment Rental SUP Application 765 E I-30, Rockwall, TX 75087

On behalf of Home Depot, our Firm (Lars Andersen & Associates, Inc.), is submitting a Specific Use Permit Application to allow the use of ten (10) parking stalls to display compact power Equipment Rental. The proposed compact power Equipment Rental transactions will be made through the proposed Tool Rental Center (Building Permit Case No. BLD2020-0255) during store operating hours. Such equipment are items like small trailers, see the attached file for a list of example equipment that the store could elect to rent. It should be noted that the HD Rental equipment is owned and operated by Home Depot and there are no Third-Party Entities involved with this Accessory Use. In addition, no service, repairs, or maintenance are done on THD Rental equipment at the store, as Home Depot owns various maintenance facility locations throughout the region where they are serviced. There is also no fueling of the equipment by Home Depot or its Associates, as the equipment is returned filled by the customer. The proposed Equipment Rental will be placed in the stalls for 24-hours and there would only be one (1) equipment per stall. The equipment is placed on trailers ready for customers to tow-away.





LARS ANDERSEN & ASSOCIATES, INC. CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS 4694 WEST JACQUELYN AVENUE - FRESNO CALIFORNIA 93722



PROJECT INFORMATION

ZONING INFORMATION APN: ZONING: EXISTING LAND USE: PROPOSED LAND USE:	47567 C COMMERCIAL COMMERCIAL COMMERCIAL
IOME DEPOT SITE DATA IOME DEPOT AREA	11.39 AC
HOME DEPOT BUILDING AREAS EXISTING HOME DEPOT BUILDING PROPOSED TOOL RENTAL CENTER EXISTING GARDEN CENTER FOTAL HD BUILDING AREA	111,847 SF 2,236 SF <u>+ 17,955 SF</u> 132,038 SF
<u>/INIMUM SETBACKS</u> RONT: REAR: SIDE:	15 FT 10 FT 27 FT
PARKING REQUIRED PER CITY CODE HOME DEPOT (@ 1/250 SF) GFA INCLUDING GARDEN CENTER)	528 STALLS
PARKING PROVIDED CUSTOMER OVERFLOW TOTAL PROVIDED	514 STALLS <u>+ 89 STALLS</u> 603 STALLS
NCLUDED WITHIN PARKING PROVIDED ACCESSIBLE PARKING	18 STALLS

SUP SITE PLAN

DATE:

REVISION DATES:

SITE PLANNER

R. E. MARKET

SITE DEV. COORDINATOR

R. E. AGENDA NAME R. E. MANAGER

2/04/2020
DAVID BORSCH
SCOTT MOMMER
KIM KOEING



SHEET 1 OF 2

Legal Description:

LOT 1, BLOCK A, FINAL PLAT HOME DEPOT – ROCKWELL ADDITION, A SUBDIVISION IN ROCKWALL COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF, RECORDED IN SLIDE D, PAGE 57 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS.

ZONE: C COMMERCIAL

OWNER

THE HOME DEPOT U.S.A., INC. 2455 PACES FERRY ROAD ATLANTA, GA 30339 (770) 384-2406





CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW RENTAL, SALES, AND SERVICE OF HEAVY MACHINERY AND EQUIPMENT ON AN 11.389-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 1, BLOCK A, HOME DEPOT-ROCKWALL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Scott Mommer of Lars Andersen & Associates for the approval of a Specific Use Permit (SUP) to allow *Rental, Sales, and Service of Heavy Machinery and Equipment* on a 11.38-acre parcel of land being described as Lot 1, Block A, Home Depot-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 765 E. IH-30, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing *Rental, Sales, and Service of Heavy Machinery and Equipment* as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the *Rental, Sales, and Service of Heavy Machinery and Equipment* land use on the *Subject Property* and conformance to these conditions are required for continued operations:

- 1) All outside rental, sales, and service of heavy machinery and equipment shall conform to the concept plan depicted in *Exhibit* 'B' of this ordinance.
- 2) The outside storage area depicted in *Exhibit 'B'* of this ordinance shall be screened in accordance with the screening requirements stipulated by the Unified Development Code (UDC). An amended site plan showing conformance to these screening requirements shall be submitted and approved by the Planning and Zoning Commission prior to the establishment of this land use.
- 3) The outside storage of machinery and equipment shall <u>only</u> be stored in the area depicted in *Exhibit* 'B' of this ordinance and labeled as *Proposed THD Equipment Rental (10 Stalls).*
- 4) The equipment and machinery stored in the outside storage area depicted in *Exhibit 'B'* of this ordinance be stowed in a position so as to not extend any part of the equipment or machinery in an upward or outward manner.
- 5) This Specific Use Permit (SUP) shall not be construed to permit the outside storage of equipment and machinery for outside display, nor does it permit additional outside storage of other materials that are not associated with the *Rental, Sales, and Service of Heavy Machinery* land use.
- 6) Maintenance and/or service of any equipment and/or machinery shall not be performed on site.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 2.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

 Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not

to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 6^{TH} DAY OF APRIL, 2020.

ATTEST:	Jim Pruitt, M	ayor
Kristy Cole, City Secretary		
APPROVED AS TO FORM:		
Frank J. Garza, City Attorney		
1 st Reading: <u>March 16, 2020</u>		
2 nd Reading: <u>April 6, 2020</u>		
Z2020-008: SUP for 765 IH-30 Ordinance No. 20-XX; SUP # S-1XX	Page 3	City of Rockwall, Texas

Exhibit 'A' Zoning Exhibit

<u>Address:</u> 765 E. IH-30 <u>Legal Description:</u> Lot 1, Block A, Home Depot-Rockwall Addition



Z2020-008: SUP for 765 IH-30 Ordinance No. 20-XX; SUP # S-1XX Page | 4

City of Rockwall, Texas





CITY OF ROCKWALL PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT 385 S. GOLIAD STREET • ROCKWALL, TX 75087 PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO:	Planning and Zoning Commission
DATE:	March 10, 2020
APPLICANT:	Shannon Thomas; Friendship Baptist Church
CASE NUMBER:	SP2020-003.; Amending Site Plan for Friendship Baptist Church

<u>SUMMARY</u>

Discuss and consider a request by Shannon Thomas of Rockwall Friendship Baptist Church for the approval of an Amending Site Plan for a church on a 6.03-acre tract of land being identified as Tract 2-4 of the D. Harr Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the SH-205 By-Pass Overlay (SH-205 BY OV) District, located east of the intersection of Justin Road and John King Boulevard, and take any action necessary.

BACKGROUND

The subject property was annexed in 1985 [*Ordinance No. 85-66*], is situated within the SH-205 Bypass Overlay (SH-205 BY OV) District, and is located east of the intersection of Justin Road and John King Boulevard. On February 19, 2019, the City Council approved a request [*Case No. Z2018-056*] for a change in zoning from an Agricultural (AG) District to a Light Industrial (LI) District to allow the site to be developed for a house of worship (*i.e. Friendship Baptist Church*). On August 13, 2019, the Planning and Zoning Commission approved a site plan [*Case No. SP2019-024*] for a house of worship on the subject property. Since that time, the property owner has changed architectural firms, and has changed the design of the building. Since the proposed house of worship differs from the originally approved building elevations, the changes will be required to be reviewed by the Architectural Review Board (ARB) and the Planning and Zoning Commission.

<u>PURPOSE</u>

The applicant is requesting approval of an amended site plan for a 17,991 SF house of worship on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at the intersection of Justin Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

- <u>North</u>: Directly north of the subject property is a railroad (*i.e.* Union Pacific/Dallas Garland N. E.) followed by several vacant tracts of land. Beyond this is Airport Road, which is identified as a M4U (*Major Collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is the Rockwall Municipal Airport. These areas are zoned Agricultural (AG) District.
- <u>South</u>: Directly south of the subject property is Justin Road, which is identified as a M4D (*Major Collector, four* [4] lane, *divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are several vacant tracts of land zoned Light Industrial (LI) District and Commercial (C) District followed by IH-30, which is identified as a TXDOT roadway on the City's Master Thoroughfare Plan.
- <u>East</u>: Directly east of the subject property are several vacant tracts of land zoned Agricultural (AG) District and Light Industrial (LI) District. Beyond this is FM-3549, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. This roadway delineates the city limits of the City of Rockwall.

<u>West</u>: Directly west of the subject property is a small vacant tract of land owned by the City of Rockwall and which is zoned Agricultural (AG) District. Beyond this is John King Boulevard, which is identified as a P6D (*Principal Arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are two (2) manufacturing companies (*i.e. Channell Commercial Corporation and Graham Packaging Technologies*). These areas are zoned Light Industrial (LI) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a house of worship is allowed by-right in a Light Industrial (LI) District. With the exception of the variances being requested, the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within a Light Industrial (LI) District and situated within the SH-205 Bypass (SH-205 BY OV) District. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	12,500 SF	X=262,666 SF; In Conformance
Minimum Lot Frontage	100 Feet	X=301-Feet; In Conformance
Minimum Lot Depth	125-Feet	X=613-732-Feet; In Conformance
Minimum Front Yard Setback	25-Feet	X=25-Feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X=10-Feet; In Conformance
Minimum Side Yard Setback	27-Feet	X=27-Feet; In Conformance
Maximum Building Height	60-Feet	X=25-Feet; In Conformance
Max Building/Lot Coverage	60%	X=10%; In Conformance
Minimum Masonry Requirement	90%	X=90-100%; In Conformance
Minimum Number of Parking Spaces	150 Spaces	X=239 Spaces; In Conformance
Minimum Stone Requirement	20%	X=21-32%; In Conformance
Minimum Landscaping Percentage	10%	X=38%; In Conformance
Maximum Impervious Coverage	90-95%	X=62%; In Conformance

TREESCAPE PLAN

This request does not require a treescape plan since there are no protected trees being removed.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 5.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Light Industrial (LI) District is intended for industrial parks and larger, cleaner types of industries. Light Industrial (LI) Districts are typically located close to arterial capable of carrying commercial traffic and in this case, the subject property is located at the intersection of an arterial and a major collector (*i.e. S. John King Blvd and Airport Rd.*) and this request appears to conform to these requirements.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following variances to the requirements of the Unified Development Code (UDC):

- (1) Construction Standards.
 - (a) Industrial Building Articulation Requirements. Subsection 05.01, General Industrial District Standards, of Section 05, Industrial Districts, of the Unified Development Code (UDC) states that the maximum wall length shall not exceed four (4) times the wall height without a projecting entryway/architectural element. The minimum length of an entryway/architectural element shall be 33% of the wall height. In this case, the maximum wall length without an entryway/architectural element is 80-feet; however, the north, east/northeast, and the southwest, building facades exceed the maximum wall length. Specifically, the north façade is 102-feet in length, the east/northeast façade is 92-

feet in length, and the southwest façade is 97-feet in length. Staff should note, that the applicant has provided projecting architectural elements on the southwest façade; however, these elements do not conform to the minimum length of an entryway/architectural element. In this case, the minimum length of an entryway/architectural element is approximately seven (7) feet in length; however, the proposed architectural elements are three (3) feet in length. Since these facades do not meet the articulation standards, approval of a variance is required.

- (2) General Overlay District Standards.
 - (a) Materials and Masonry Composition. Subsection 06.02, General Overlay District Standards, of Section 06, Overlay Districts, of the Unified Development Code (UDC) states that each exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials and/or a maximum of 10% Secondary Materials -- excluding windows and doors. A minimum of 20% stone natural or quarried stone is required on all building facades. The use of cementitious materials (e.g. stucco, cementitious lap siding, or similar cementitious material), shall be limited to 50% of the building's exterior façade. In this case, the proposed building utilizes a combination of brick, stucco, and stone and generally conforms to the Primary Materials requirement with the exception of utilizing at least 20% stone on each façade. Specifically, the applicant is proposing to utilize 1.9% stone on the east/northeast façade, and 0% stone on the north façade. Staff should note, the remaining building façades utilize between 20.03% and 49.4% stone. Since this does not meet the minimum requirement of 20%, approval of a variance is required.
 - (b) Four (4) Sided Architecture. Subsection 06.02, General Overlay District Standards, of Section 06, Overlay Districts, of the Unified Development Code (UDC) states that all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation, and features. In this case, the north, northeast, and east building elevations do not appear to conform to the four (4) sided architecture requirements and approval of a variance is required.

According to Subsection 09.02, Variances to the General Overlay District Standards, of Section 09, Exceptions and Variances, of Article 11, Development Applications and Review Procedures, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission to grant a variance to any provision contained in Section 06.02, General Overlay District Standards, of Article 06, District Development Standards, of the Unified Development Code (UDC) where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship. In cases where a variance is requested, the applicant shall provide two (2) compensatory measures that directly offset the requested variance. In this case, since three (3) variances are being requested, the applicant is required to provide a total of six (6) compensatory measures. The applicant has provided a letter that outlines the following proposed compensatory measures: To provide increased landscaping (i.e. 40 additional trees) throughout the site, to provide increased parking lot landscaping (i.e. an 11.3% increase), to provide two (2) additional architectural elements, and to provide 100% masonry on each facade. Staff should note, since three (3) variances have been requested, a total of six (6) compensatory measures are required. In this case, the applicant has provided four (4) compensatory measures and approval is a discretionary decision for the Planning and Zoning Commission, pending a recommendation by the Architectural Review Board (ARB). These exceptions are discretionary decisions for the Planning and Zoning Commission and require approval by a 34 majority. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan, designated the subject property for <u>Technology/Employment</u> land uses, which is characterized by employment-oriented businesses, typically situated in larger centers that have access to key transportation networks. In this case, the applicant previously rezoned the property to Light Industrial (LI) District, which was in conformance with the Future Land Use Plan; however, the land use (*i.e. a house of worship*) is considered to be a <u>Quasi-Public</u> land use, which necessitated a change in the Future Land Use Plan. The proposed house of worship conforms to the <u>Quasi-Public</u> land use.

ARCHITECTURAL REVIEW BOARD (ARB):

On February 25, 2020, the Architectural Review Board (ARB) reviewed the revised building elevations and requested that the applicant provide color elevations and a materials sample board. The applicant has submitted color renderings and a material sample board that appear to generally conform to the overlay district requirements and these will be be provided to the ARB at their meeting on <u>March 10, 2020</u>.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request, then staff would propose the following conditions of approval:

(1) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]: Platting Application Fees: Master Plat (\$100.00 + \$15.00 Acre)¹ Preliminary Plat (\$200.00 + \$20.00 Acre)¹ Preliminary Plat (\$200.00 + \$20.00 Acre)¹ Preliminary Plat (\$200.00 + \$20.00 Acre)¹ Pleake (\$300.00 + \$20.00 Acre)¹ Pleake (\$150.00) Pleake Request (\$100.00) Site Plan Application Fees: I Tree Removal (\$75.00) I Tree Removal (\$75.00) I Tree Removal (\$75.00) I Variance Request (\$100.00) Site Plan (\$250.00 + \$20.00 Acre) ¹ Notes:	OOJ TED BY THE NEER HAVE
[] Master Plat (\$100.00 + \$15.00 Acre) ¹ [] Preliminary Plat (\$200.00 + \$15.00 Acre) ¹ [] Preliminary Plat (\$300.00 + \$20.00 Acre) ¹ [] Replat (\$300.00 + \$20.00 Acre) ¹ [] Amending or Minor Plat (\$150.00) [] Plat Reinstatement Request (\$100.00) Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) ¹ [] Site Plan (\$250.00 + \$20.00 Acre) ¹ [] Master Plat (\$300.00 + \$20.00 Acre) ¹ [] Amending or Minor Plat (\$150.00) Site Plan Application Fees: [] Site Plan (\$250.00 + \$20.00 Acre) ¹ [] Address John King Blvd. (#7175) Subdivision N/A Current Joning Proposed Zoning Acreage Lots [Current] Lots [Proposed] [] Stie Plan SAD PLATS: By checking this box you acknowledge that due to the passage of <u>HB3167</u> the City no longer has flexibility with regard process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.	
Address John King Blvd. (#7175) Subdivision N/A General Location 7175	
Subdivision N/A Lot Block General Location 7175 Current Zoning Current Zoning Current Use Proposed Zoning Proposed Use Acreage Lots [Current] Lots [Surrent] Lots [Proposed]	
General Location 7175 ZONING, SITE PLANS AND PLATTING INFORMATION [PLEASE PRINT] Current Zoning Current Zoning Proposed Zoning Acreage Lots [Current] Lots [Proposed] Image: Sitte Plans And plats: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard process, and failure to address any of staff's comments by the date provided or the Development Calendary in the denial of your case.	
General Location ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT] Current Zoning Current Use Proposed Zoning Proposed Use Acreage Lots [Current] Lots [Proposed] Image: SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard process, and failure to address any of staff's comments by the date provided or the Development Calendar will result in the denial of your case.	
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Acreage Lots [Current] Lots [Proposed] [] SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.	
[] <u>SITE PLANS AND PLATS</u> : By checking this box you acknowledge that due to the passage of <u>HB3167</u> the City no longer has flexibility with regard process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.	
OWNER/APPLICANT/AGENT INFORMATION (DIFASE DRINT/CHECK THE DRIMARY CONTACT/ODICINAL SIGNATURES ARE REQUIRE	
	2]
[] Owner Rockwall Friendship Baptist Church [] Applicant Rockwall Friendship Baptist Ch	urch
Contact Person Shanon Thomas Contact Person Shanon Thomas	
Address John King Blad (Proposal #7175) Address 5651 State Highway 276	
City, State & Zip Rockwall, Texas. 75032 City, State & Zip Royse City, Texas 75189	
Phone (972)772-7520 Phone (972)772-7520	
E-Mail sthomas@rockwallfbc.org E-Mail sthomas@rockwallfbc.org	
NOTARY VERIFICATION [REQUIRED] Before me, the undersigned authority, on this day personally appeared Shanon Thomas [Owner] the undersigned, who stated the in this application to be true and certified the following:	
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of $\$ 10^{\circ}$ cover the cost of this application, has been paid to the City of Rockwall on this the 20° day of February, 20° . By signing this application to the public. The City is also permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproductions associated as increased by the day of February, 20° . CAROLYN ED Notary ID #130.	authorized and authorized and auest for public SON 395847 Expires
Owner's signature	er 6,2023





City of Rockwall Planning & Zoning Department

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.































ORDINANCE REQUIREMENT C

Mandatory Provisions

ALL SIZES SHOWN ARE MINIMUM. SMALLER CONTAINERS MEETING THE SPECIFIED HEIGHT AND SPREAD WILL NOT BE ACCEPTED. 1. 15' landscape buffer Provided. 2. Screening of off-street loading areas COMMON NAME BOTANIC NAME Provided. LARGE TREES 3. Residential Adjacency QUERCUS PHELLOS CHINQUAPIN OAK 6' masonry fencing n/a SHUMARD RED OAK QUERCUS SHUMARDII 4. Buffer landscaping QUERCUS VIRGINIANA LIVE *o*ak 1 tree per 50' linear feet 323 /50 6 3" caliper trees required **22** 3" caliper trees provided TAXODIUM DISTICHUM BALD CYPRESS CEDAR ELM ULMUS CRASSIFOLIA 5. Parking lot landscaping 5% required 75,000 *.05 3,750 required area 4,228 provided area ORNAMENTAL TREES 6. Open space VITEX VITEX AGNUS-CASTUS 240,887 *.08 **19,271** square feet required Residential Zoning ILEX VOMITORIA 'NANA' TREE YAUPON 109,000 square feet provided LAGESTROEMIA INDICA CRAPE MYRTLE 7. SH 205 Overlay District Planting at Buffer 80 / 50 2 Canopy Trees required SHRUBS 4 Canopy Trees provided 80 / 25 3 Accent Trees required ILEX CRENATA BURFORDII NANA DWARF BURFORD HOLLY **14** Accent Trees provided SALVIA GREGII 'HOTLIPS' HOT LIPS CHERRY SAGE **12** Canopy Trees required 8. Detention Area Planing GROUNDCOVER / PERINNEL 18 Canopy Trees provided EUONYMUS COLORATA PURPLE WINTERCREEPER 6 Trees provided in excess TRACHELSPERMUM ASIATICUM ASIAN JASMINE 9. Excess Planting Buffer Planting 6 Canopy Trees required LAWN 9 Canopy Trees provided SOLID SOD BERMUDA CYNDON 3 Trees provided in excess 13 Accent Trees required 14 Accent Trees provided 1 Trees provided in excess **14** Additional trees provided Site trees 5 L C $\mathbf{\alpha}$ →2 LIVE OAK + + SITE DATA TABLE 5.53 ACRES 240,887 SF) SITE AREA \sim ZONING L1 PROPOSED USE CHURCH 18,292 SF BUILDING SIZE * (100 LOT COVERAGE 8% 4 CEDAR ELM FLOOR TO AREA RATIO 0.08 1 (1 STORY) BUILDING HEIGHT PARKING TABLE 1 PER X 4 SEATS PARKING REQUIREMENTS 99 SPACES - 4 ADA PARKING REQUIRED 231 SPACES 木 PARKING PROVIDED -2 LIVE OAK 2 TREE YAUPON-

С

PLANT LISTING



SIZE DESCRIPTION 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. 100 GALLON CONTAINER, 4"-4 1/2" CALIPER, 9' - 10' HEIGHT, 5'-6' SPREAD SINGLE STRAIGHT LEADER. 65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD 65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD 65 GALLON CONTAINER, 3"-3 1/2" CALIPER, 7' - 8' HEIGHT, 5'-7' SPREAD 3 GALLON 3 GALLON I GALLON I GALLON _____ JO ANN ATHEY VOL 4875 PG 133 D.R.R.C.T. S 00°56'05" W 732.64 4.114 ACRES PROPERTY LINE + * ~+ -4 LIVE OAK CEDAR ELM-I LIVE OAK-2 CEDAR ELM--I LIVE OAK ~~ -----¥

MULTI-TRUNK - 3 CANES MAXIMUM MULTI-TRUNK - 3 CANES MAXIMUM MULTI-TRUNK - 3 CANES MAXIMUM 24" ON CENTER 24" ON CENTER 18" ON CENTER 18" ON CENTER -I LIVE OAK -PURPLE WINTERCREEPER 🎘 🔎 SEASONAL COLOR -4 CHINQUAPIN -PURPLE WINTERCREEPER -2 CEDAR ELM 2 CEDAR -7 RED OAKS 23 BALD CYPRESS--I SAWTOOTH OAK -I PISTACHIO -2 CEDAR ELM 2 PISTACHIO-50' LANDSCAPE BUFFER-4

613.93 PROPERTY LINE

0 15′

30'

-60'

IF QUANTITIES ARE SHOWN, CONTRACTOR IS RESPONSIBILE FOR VERIFYING QUANTITIES. PLAN REFERENCES GOVERN.

N 00°55'26" E

Α

1" = 30'-0"

LANDSCAPE PLAN



